



**Home Owners Covenant's,
Rights and Restrictions**
(Two Bedroom Houses)

Appendix 2

AUGUST, 2016

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1. INTRODUCTION

The objective of the development of Kilimanjaro Golf and Wildlife Estate ("KGWE") is to provide a harmonious lifestyle of high quality to its residents, within a pleasant, safe and environmentally friendly setting. In order to achieve such objectives, it is necessary that home owners must:

- display tolerance and consideration towards other persons lawfully present on KGWE;
- acquaint themselves and abide by all the provisions, rules and regulations which apply within KGWE;
- participate in a constructive manner in the overall running of KGWE in terms of the provisions of the relevant rules and regulations;
- respect the authority of the Board of Directors of Kilimanjaro Golf Development Ltd (hereinafter known as KGDL ("the Board" which expression shall include any body established by the Board) and those authorized by it.

2. THE HOME OWNERS ASSOCIATION AND BOARD

The Home Owners shall form an Association which shall be a platform for all members to meet and discuss their affairs as a community with the aim of enhancing the quality and standard of living on the Estate for the betterment of all homeowners. A person shall automatically become a member of the Association upon becoming a homeowner on the Estate.

The Association shall consist of a Committee of ten representatives appointed by the homeowners from the members of the Association. The Association shall further be governed by a constitution passed and signed at an annual general meeting of the members.

3. RULES

These Rules, in the nature of conduct rules, have been formulated by the Board and may from time to time be, amended by the Board. The resident's committee shall be notified prior to such amendments.

In addition to the Memorandum and Articles of KGDL, the Architectural policies, Homeowners Covenants, Rights and Restrictions and the Contractor's Rules and Regulations are legally binding.

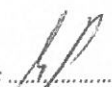
These Rules are binding upon all owners. The owners shall assume and retain full responsibility for the conduct of their occupiers, tenants, employees, contractors, family members, visitors and invitees.

4. VEHICLES AND USAGE OF STREETS

- 4.1 All vehicles must adhere to the speed limits and traffic rules as determined by the Board, and the usual legal traffic laws and regulations of the land;
- 4.2 No parking of vehicles of any kind is allowed on verges or on the roads and streets of KGWE. Residents must liaise with the Security Manager for parking and traffic arrangements in the event of private functions;
- 4.3 Motor vehicles causing excessive noise, gaseous emission, leaking fluids, vehicles which are un-roadworthy, may be refused permission to enter KGWE or be removed from KGWE by security officers.

5. OWNERS' RESPONSIBILITIES

- 5.1 It is the responsibility of every owner to:
 - 5.1.1 Keep undeveloped plots (excludes non disturbance areas) clean, neat, and free of weeds and rubble;
 - 5.1.2 Maintain the external appearance of their residences, private gardens and the adjacent pavement in keeping with the standard and ambience of KGWE;

Homeowner's initials 



- 5.1.3 Ensure that no prohibited flora are planted or allowed to grow on their Plot. A list of recommended and prohibited flora is available from the Board;
- 5.1.4 Only chemicals approved by the Board may be used to combat pests and unwanted growth. A list of permitted chemicals is available from the Board.
- 5.2 **Laundry**
No laundry of any kind or other items may be hung where visible to the public, golf players or other residents.
- 5.3 **Refuse**
House and garden refuse may only be placed outside in suitable rubbish bins on the days assigned for collection. All rubbish must be segregated into different categories and collected separately. Recycle bins will be used where applicable.
- 5.4 **Normal Residential Use Only**
- 5.4.1 No property may be used for storage of hazardous or combustible materials not associated or compatible with residential usage, or which could present a danger or risk to the health or safety of any residents;
- 5.4.2 Home Owners who allow their residence to be occupied by other persons must obtain from such tenant a written undertaking to comply with the Rules and other Regulations;
- 5.4.3 The homeowner may use his residence for holiday rentals. This is subject to the rules set herein.
- 5.5 **Promotional Activities**
- 5.5.1 No pamphlets, "flyers", business cards or any other documentation may be distributed on KGWE or placed in residents' post boxes;
- 5.5.2 Door to door canvassing activities will not be allowed on KGWE;
- 5.5.3 Promotions / sales / ad hoc functions, private functions such as art exhibitions, marketing and sales of products, (e.g. cosmetics, household goods), which involve members of the public, must be coordinated well in advance with the Board and are subject to approval by the Board and the standard security arrangements will apply.

6. SECURITY

The entire development will be enclosed by a perimeter electric fence. In addition there will be 24 hours guard patrol throughout the entire development. The entrance gates will be manned 24 hours a day.

- 6.1 The Board may from time to time issue written directives regarding security and access control. Such directives shall be deemed to be part of these Rules and shall be binding upon all owners and residents;
- 6.2 Home Owners and residents must comply with security and access procedures and be responsible for compliance by their guests, employees, contractors and invitees;
- 6.3 Any instance of burglary, vagrancy, unauthorized entry or exit, or fence jumping, or any attempt thereof, must be reported to the Security Office at the Main Gate without delay;
- 6.4 For emergency purposes, new residents must inform the Kiligolf Management Team of their names, telephone numbers, addresses and other relevant contact details at their earliest convenience;
- 6.5 Residents must inform Security of expected visitors prior to their arrival. In the event of a function at a residence, the resident must provide the Security Officer at the respective entrance with a guest list prior to arrival;

Homeowner's initials 

- 6.6 Identity cards will only be issued to employees on request of Home Owners and on presentation of their voter Identity Card or Passport;
- 6.7 Home owners are to display a resident vehicle sticker in the front bottom or top right-hand corner of the windscreen of vehicles. All permanent staff employed by KGWE or the Golf Club, must display vehicle stickers;
- 6.8 Security has been authorized by the Board to ensure safety for residents and include all rules/covenants etc forming part of this Sales Agreement.
- 6.9 A local private security company can install automatic alarms and back up that alarm system with a twenty four hour telephone hot line number and rapid response service.

7. STAFF

It is appreciated by the Board that KGWE Home Owners may require Domestic Staff to assist in their homes. Home Owners will also appreciate that, in all Home Owner's interests, there must be strict controls on this aspect in view of the potential numbers of people involved.

The following rules have been formulated and will be reviewed from time to time. The Board may authorize exceptions to these rules upon a suitably justifiable case being presented to them.

- 7.1 Only 2 Domestic Staff may be resident within the curtilage of the properties provided that they are housed in suitable accommodation which conforms to the spirit and content of the Architectural Policy and that it is within the permitted disturbance area;
- 7.2 All Domestic staff must be registered with KGWE security and obtain identification badges which must be worn or displayed at all times;
- 7.3 The Home Owners shall be responsible and liable for all the actions and acts of their domestic staff and shall keep KGWE indemnified against breaches of all rules and regulations by such staff.

8. DOGS AND PETS

Dogs as pets only, are welcome at KGWE. However in order to ensure that they do not cause any inconvenience to other residents, golfers or wildlife on the development, the following rules must be strictly complied with, for the benefit of all homeowners.

- 8.1 Dogs must be kept on a leash at all times on any part of KGWE when outside the disturbance area of the specific residence;
- 8.2 All dogs and pets must be kept inside the house at night;
- 8.3 No dogs or pets will be permitted on the golf course, golf course related properties or wildlife sanctuary at any time. There are plenty of other beautiful places on the Estate to walk your dog or pets other than the golf course or sanctuary;
- 8.4 All pets must be fully vaccinated and Vaccination Certificates must be kept as proof for inspection by the Board;
- 8.5 The Board may require any pet to be removed from KGWE and / or impose penalties as per Rule 13, if in their opinion:
 - Such pet causes an unreasonable nuisance to other people; or
 - The pet is kept in contravention of these Rules;
 - Conditions imposed by the Board in respect of their keeping are not complied with.

Homeowner's initials 



9. SIGNS AND NOTICES

Home Owners are required to display their house numbers for security and visitor purposes. Only signage, advertisements, billboards, etc., approved by the Board may be displayed on any part of the Estate.

10. LITTERING AND PRESERVATION OF ENVIRONMENT

- 10.1 No rubble, refuse or litter may be placed, left dumped or otherwise discarded on any part of KGWE;
- 10.2 Except for areas for which an owner is directly responsible (within the disturbance area) no flora may be trimmed, damaged, or removed from any part of KGWE. KGWE will be responsible for the maintenance of all non disturbance areas;
- 10.3 No fauna present on KGWE may be chased, trapped, disturbed, or harmed in any manner.

11. NUISANCE

- 11.1 Except in respect of such sports and activities which have been planned and approved, and for which provision has been made on KGWE, no sports, activities or hobbies which present a risk of injury or damage to the person or effects of others present on KGWE, or which may cause a nuisance to residents, are allowed on KGWE;
- 11.2 Home Owners and residents must ensure that the volume of music and other sounds are maintained at an audio level which does not cause a nuisance to other residents;
- 11.3 Home Owners and residents are responsible for the conduct of their occupiers, tenants, employees, contractors, family members, visitors and invitees;
- 11.4 No explosives, crackers, fireworks or items of similar nature may at any time be exploded, lit or operated in any part of KGWE;
- 11.5 No firearms may be discharged on any part of KGWE, including private property, except under such circumstances, which would reasonably justify the use of a firearm for self-defense.

12. GOLF COURSE AND OTHER OPEN AREAS

At the time of purchase of the property, the Board included with your purchase, free of joining fees, membership of the Golf Club. Owners of properties on the Kilimanjaro Golf and Wildlife Estate are obliged to pay the annual subscription for golf course maintenance as per Clause 17.

12.1 Membership entitlement:

This entitles a maximum of two adults to golf membership. These membership rights may be used by any two occupiers of the owner's premises at the time of occupancy. The parties shall agree on how this arrangement will formally be notified to the Golf Manager every time there is a change of occupiers.

12.1 Should there be a change in ownership of the Property, the new owner shall pay for Golf Membership fees as per Rules and Regulations set by the Golf Manager at the time of purchase of the Property.

12.2 Course usage:

Members will have preferred access to tee times. Members may invite guests to accompany them for Golf on payment of the applicable green fee, and in accordance with the Golf Club Rules.

12.4 Golfing shall at all times have priority over other activities on the golf course

12.4.1 Residents have the right of access to the golf course at their own risk, for the purposes of walking or jogging, but only when the course is not being used for golfing;

12.4.2 No games, sports or activities other than golf, walking and jogging are allowed on the golf course;

Homeowner's initials *[Signature]*

12.4.3 Except for golfing purposes, no person may enter upon any greens on the golf course;

12.4.4 In as far as may be applicable, the Golf Club Rules shall be binding upon all residents. Golf Club Rules, in as far as applicable, are available for inspection at the Golf Club. Owners are reminded that, in terms of the Golf Club Rules, play is not allowed on the golf course without prior arrangement with the Pro Shop.

12.4.5 A golfing committee will be set up to run the golfing activity and competitions at the club. This committee will consist of at least one member of the board, at least one member of the home owners association, club secretary, men's captain, men's vice captain, lady captain, lady vice captain, handicap manager, section treasurer and section secretary.

12.5 General:

12.5.1 No boating, bathing or fishing is allowed in the lakes or rivers on KGWE other than those areas approved by the Board;

12.5.2 Residents must ensure that their pets do not enter such dams or lakes.

12.6 Selling, Letting, Estate Agents, Sellers, Buyers, Auctions & Show Houses / Sales Office

12.6.1 In the event of any owner of property in KGWE wishes to sell his property, that owner must inform the Board and Security Manager of the appointed Estate Agent (s) name(s) and contact details. The Security Manager will approve and provide security clearance and identification control for such Agents;

12.6.2 No notices or signage may be displayed on or at any place on KGWE and or the entrances to KGWE;

12.6.3 All potential buyers must be escorted by the Owner or approved Estate Agent at all times. Potential buyers will not be allowed entry to KGWE without the presence of an Estate Agent or prior notification and appointment;

12.6.4 In the event of property going on auction on the Estate, the owner must liaise with the Security Manager for viewing and the actual event of the auction itself. No viewing will be allowed without proper escort and appointment with the Auctioneer. The Auctioneer will provide suitable transport from a collection point or parking area to the venue of the auction in order to prevent parking congestion at the point of auction;

12.6.5 Management and Letting Service: Home Owners may let their properties privately. Purchasers should be aware that rental income will be commensurate with the quality of the interior finish as well as overall a style and appeal of the house.

13. RISK INVOLVING THE GOLF COURSE, GOLF BALLS AND CONSTRUCTION

The Golf Club, Golf Course, KGD and the Estate generally shall be covered by appropriate insurances required including but not limited to Fire and Flood and Public Liability. The Club House shall have appropriate hospitality insurance cover including Public Liability. Golfers shall have their own insurance against equipment theft and injury caused by themselves to another player or caddy.

Golf balls in flight pose a serious risk of injury and even death. Residents, their guests and employees must at all times take due care. The Board accepts no responsibility whatsoever to golfers, caddies, residents or guests using any of the facilities within the KGWE development. Golf players are advised to take out their own "golfers insurance" policy which can be arranged through the Pro Shop.

KGWE is also a construction site and all persons entering are requested to exercise proper care. No person with the exception of contractors and construction workers are allowed on any construction site without the approval of the Board and subject to the provisions of the Residential Design and Construction Regulations.

Homeowner's initials 

14. DOMESTIC WATER / HEATING

Only electrical or solar devices may be used for the heating of domestic water. No wood or charcoal burning boosters or other such devices for hot water purposes shall be permitted.

15. SEWAGE

No raw sewage may be put into the ground on KGWE Property, a bio-digester (after initial septic tank treatment) is allowed, either mechanical or reed bed design. The resultant grey water can either be stored then re-used by the home owner or can be put into a soak away within the owners property. Under no circumstances can the resultant grey water be directed into the KGWE drainage system, or allowed to run off into the KGWE drainage system indirectly.

The bio digester must be maintained and operated correctly to ensure that the grey water is odorless and colorless. This will usually require a grease trap in the kitchen. The treatment process must also be odorless.

16. APPLICABILITY, ENFORCEMENT AND PENALTIES

- 16.1 These Rules are binding upon owners and residents, their guests, visitors, contractors and any person employed directly or indirectly by the owner or resident for purposes related to their physical presence on KGWE;
- 16.2 No indulgence or relaxation in respect of these Rules, or failure to enforce same in one or more instances, shall constitute a waiver or consent or prevent their enforcement by the Board;
- 16.3 If the conduct of a resident or his or her visitors constitutes a nuisance in the opinion of the Board, or if an owner, resident or visitor contravenes, breaches, disobeys or disregards a provision of the Rules, the Board shall furnish the owner and resident (if applicable) with a written notice which may, at the discretion of the Board, be delivered by hand or by registered post. In the notice the particular conduct which constitutes a nuisance shall be adequately described or the Rule that has allegedly been contravened shall be clearly indicated. The offender must then be warned that if he/she persists with such conduct or contravention, a fine will be imposed on the owner;
- 16.4 If the offender nevertheless persists with such conduct or continues to contravene that particular Rule, the Board may convene a meeting to discuss the matter and to impose a fine;
- 16.5 A written notice, by which the alleged offender and the owner (if applicable) is informed of the purpose of the meeting and invited to attend, shall be sent to the offending resident and owner (if applicable) at least 7 days before the meeting is held. At the meeting the offender must be given the opportunity to present his or her case but except, in so far as may be permitted by the chairperson, he or she may not participate in the affairs of the meeting;
- 16.6 After the offender has been given the opportunity to present his or her case, the Board may, impose an initial penalty for the first offence and a subsequent penalty for every identical offence thereafter;
- 16.7 Any fine imposed in terms of sub-rule (16.3), if it is not paid within 14 days after the offender has been notified of the imposition of the fine, be added to the contribution which an owner is obliged to pay in terms of the provisions of the Rules and claimed by the Board as part of the monthly levies payable by the owner;
- 16.8 The Board may, from time to time, determine the amount of the initial and subsequent penalties, which shall become effective seven days from the Board Meeting at which the amended penalties were approved.

Any fine not paid after 28 days will be registered as a charge against the property, and the owner shall not raise any objection.

Homeowner's initials 

17. SERVICE CHARGES

The Homeowner shall pay an annual service charge of United States Dollars One Thousand Seven Hundred and Fifty (US\$ 1750) for the general maintenance and upkeep of KGWE which includes but is not limited to golf maintenance, estate security, roads maintenance and waste collection services. These service charges will be on a cost recovery basis.

- 17.1 In the event that the expenditure exceeds the service fees received the Board will vote to raise a "special charge" and adjust the amount imposed on Owners in the subsequent year. The increase percentage shall be equal across all fee levels as applicable to the rest of the Homeowners.
- 17.2 The Board will be installing services to the disturbance area. These services include water, refuse removal and electricity. Each property will be installed with its own water and electricity meter. Owners will be billed on a monthly or a quarterly basis in arrears for the utilization and consumption of the services.
- 17.3 Owners requiring Telephones, Internet, Satellite T.V. & such like facilities may install them at their own expense, provided that they comply with the Residential Design and Construction Regulations in that regard. It is the owner's responsibility to arrange a connection to these services, at their own expense.

Homeowner's initials 



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*Kilimanjaro Golf Development Limited
Contractor's Rules and Regulations Appendix 3*

1. INTRODUCTION

The purpose of these Contractors Rules & Regulations is to ensure the building works carried out by Land Owners are compliant with National Laws and International Standards thereby developing an aesthetically attractive Estate, taking into consideration the environment and reducing disturbance to neighboring residents. These rules & regulations form an integral part of the Sales Agreement and hence are legally binding.

2. RULES OF CONSTRUCTION

The regulations set out hereunder shall apply to the contractor undertaking the construction of Buildings and ancillary areas within the Plot:-

- 2.1 Prior to any construction work taking place or any materials being delivered, a screen consisting of green shade netting, with a minimum height of 1.5 metres from ground level and a density of at least 80% must be set up around the Plot with only one opening not wider than six metres to retain the aesthetic value of the Plot, and minimize inconvenience to other Home Owners;
 - 2.1.1 All building staff, other than when commuting to the plot, are not allowed access to other areas of the estate.
 - 2.1.2 Access to the Plot shall be limited to one opening situated facing the access road to the Plot;
 - 2.1.3 No materials may be temporarily received, stored, mixed or prepared on any roads or outside the Plot;
 - 2.1.4 The shade net screen may only be removed upon completion of the Building and issuance of completion certificate by the Board;
 - 2.1.5 The Main Contractor must ensure that the Plot is kept as clean as reasonably possible at all times;
 - 2.1.6 Removal of building rubble, general cleaning and good housekeeping practice must take place during building operations, with particular care to be taken to leave the Plot in a clean condition at all times;
 - 2.1.7 Any material, including plastic bags or chemicals, which may be hazardous or which may blow off the Plot must be disposed off or properly secured before leaving Plot each day;
 - 2.1.8 No rubbish may be burnt or buried on the Plot;
 - 2.1.9 At least one portable toilet must be provided on the Plot whilst construction is taking place, which must be positioned within the Plot and be screened so as to minimize any inconvenience to surrounding Plots;
 - 2.1.10 Construction activity shall strictly be done between the following hours:-07:00 hours until 18:00 hours, on weekdays and 07:00 hours until 14:00 hours on Saturdays. No construction activity may take place on Sundays and Public Holidays;
 - 2.1.11 Contractors may place a temporary lockable store facility or a 20ft or a 40ft container on the Plot within the construction area to secure building material. Other than this store no other movable or immovable structure may be placed, temporarily or permanently, on the property without written approval from the Board;
 - 2.1.12 No vehicle in excess of 22 tons gross weight on 3 axles or 28 tons gross on 4 axles may use the roads on the Development;

- 2.1.13 Vehicles must comply with all the speed limit signage;
- 2.1.14 No construction vehicles may be parked outside of the Plot;
- 2.1.15 No delivery vehicles are permitted to use the roads on the Development unless accompanied by the Main Contractor at all times;
- 2.1.16 Delivery vehicles must check in at security and remain at the gate until the Main Contractor arrives to escort them to the Plot;
- 2.1.17 Main Contractor may neatly erect one sign clearly indicating its name and contact details at the entrance to the demarcated construction area during the period of construction. This sign may not exceed an area of 1 metre square and must be removed on completion of the Building. No other signage is permitted on the Plot or on the roads;
- 2.1.18 Contractor's staff to wear identifiable clothing at all times while on the Development;
- 2.1.19 No Contractor's staff is permitted to remain on the Plot after the permitted construction hours set out in clause 2.1.10 hereinabove;
- 2.1.20 No Contractor's staff may move around the Development or leave the Plot other than on the Contractor's vehicle;
- 2.1.21 Walking from the Plot to other Plots or to and from the main gate is strictly not permitted;
- 2.1.22 Contractor's staff are not permitted on the property prior to 06:30 Monday to Saturday, excluding public holidays, and must depart from the development by 18:30 Monday to Friday & 14:30 on Saturday;
- 2.1.23 Contractors must ensure that noise and dust is kept as low as reasonably possible to minimize inconvenience to other persons on the property. Dust suppression with water may be required;
- 2.1.24 Whistles, hooters and sirens are not permitted;
- 2.1.25 If additional security is required by a contractor this must be arranged through the security organization approved and employed by the Board. Kilimanjaro Golf Development will not be held responsible for any losses;
- 2.1.26 Homeowners and Contractors must ensure they clear the Plot of any combustible materials, and take adequate steps to prevent damage by fire;
- 2.1.27 Open fires for cooking or other purposes are not permitted unless supervised and adequately screened to prevent them from spreading;
- 2.1.28 The Board takes no responsibility in the event of damage through the spread of uncontrolled fires on the Plot or from any cause whatsoever;
- 2.1.29 The Main Contractor shall be fully responsible for the conduct and discipline of all persons employed, including staff of Sub Contractors and delivery personnel while on the Development;
- 2.1.30 If any person is found disturbing or endangering an animal, fish or bird life, or is found pilfering, stealing or removing material from the Development without permission, or is involved in any form of violence, that person shall be permanently denied access to the Development, and the Contractor who employs that person may be removed from the



Plot and denied the opportunity to undertake any further work on the Plot. In this regard Kilimanjaro Golf Development or the Board shall not be liable for any breach of contract or otherwise as between the Home Owner and the Contractor;

- 2.1.31 Any damages caused by employees, Sub Contractors or delivery vehicles shall be the responsibility of the Main Contractor. These damages include damage to roads, kerbs, signage, plants, irrigation, wildlife and private property. The Board shall have sole discretion as to the nature, extent and value of these damages, and the identification of respective vehicles and persons;
- 2.1.32 Compliance with the general rules and requirements of all relevant Health and Safety, employment and general and all applicable legislation is mandatory;
- 2.1.33 Contractors are to co-operate with the Board and comply with their directives at all times;
- 2.1.34 A security organization has been contracted by the Board to control access and security on the Development. All persons on the Development must comply with and adhere to the security regulations and controls required by the Board from time to time. Vehicles entering and exiting the Development may be subject to be searched at any time;
- 2.1.35 Security guards at exit gates will require a signed note from the Main Contractor before allowing equipment and machinery to be removed from the Development;
- 2.1.36 Any contravention of the security procedures or requirements shall be considered a severe breach of these regulations. Appropriate consequences will be implemented by the Board;
- 2.1.37 Trees, shrubs or plants may be planted by Homeowners on their Plot in accordance with the landscaping and garden guide lines set out hereunder;
- 2.1.38 Garden irrigation systems may be used and considering water is a valuable commodity, the Board encourages that they be automated and are installed by an irrigation contractor approved by the Board;
- 2.1.39 If any specific complaint or request to refrain from any activity is received from three Homeowners in the surrounding area, the Contractor must cease the offending activity forthwith until the Board gives specific approval to continue which approval may be on such terms and conditions as is considered appropriate to the circumstances;
- 2.1.40 On completion of construction the Homeowner shall request the Board to inspect the Plot and the structures;
- 2.1.41 The Main Contractor will not hand over the Building to the Home Owner (or in the event the Home Owner is constructing himself then will not occupy the Building) until the Board has specifically approved the completion of the project and issued a completion certificate.

2.2 The Board shall ensure that:-

- 2.2.1 The regulations relating to the Plot and construction have been complied with;
- 2.2.2 The Plot has been properly cleaned and tidied;
- 2.2.3 Direct access roads to the Plot and verges have been repaired and are in good condition;
- 2.2.4 The Building is in accordance with an approved design;



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Client
 Kdlimariro golf & wildlife estate

Project
 2 Bedroom House

Project Number

Drawing Status

Working Drawing

Note
 All drawing dimensions are in mm unless specified otherwise. These plans to be used in conjunction with structural engineering drawings, electrical drawings as well as mechanical drawings where applicable. Consultant to resolve any conflicts between drawings.

Drawing Names

Foundation Plan

Drawn by
 S.M and F.K Date
 07/05/2016

Checked by
 S.M Date

Drawing Scale
 1:100 @ A3

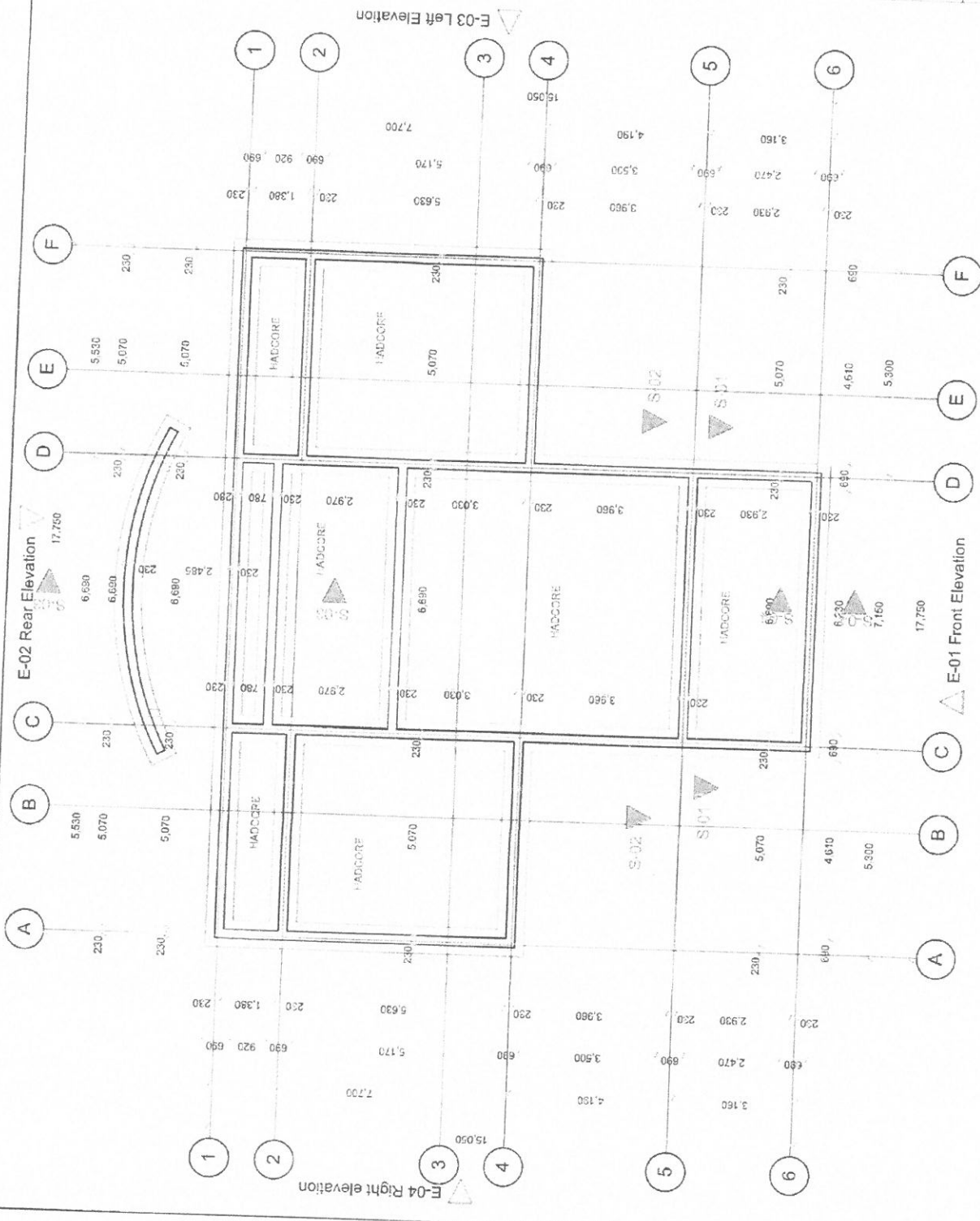
Drawing Set
 ARCHITECTURAL

Layout Name
 Foundation Plan

Layout ID

Layout: A.01.1

Revision Number Date



1:100

Foundation Plan