



## **Contractor's Rules and Regulations**

**Appendix 3**

**NOVEMBER 2009**

Kilimanjaro Golf Development Limited  
Kilimanjaro Golf and Wildlife Estate  
P O Box 21 USA River, Arusha - TANZANIA  
Email: [secretary@kiligolf.com](mailto:secretary@kiligolf.com)  
Tel: +255 784 200801

[www.kiligolf.com](http://www.kiligolf.com)



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*Kilimanjaro Golf Development Limited  
Contractor's Rules and Regulations Appendix 3*

## 1. INTRODUCTION

The purpose of these Contractors Rules & Regulations is to ensure the building works carried out by Land Owners are compliant with National Laws and International Standards thereby developing an aesthetically attractive Estate, taking into consideration the environment and reducing disturbance to neighboring residents. These rules & regulations form an integral part of the Sales Agreement and hence are legally binding.

## 2. RULES OF CONSTRUCTION

The regulations set out hereunder shall apply to the contractor undertaking the construction of Buildings and ancillary areas within the Plot:-

- 2.1 Prior to any construction work taking place or any materials being delivered, a screen consisting of green shade netting, with a minimum height of 1.5 metres from ground level and a density of at least 80% must be set up around the Plot with only one opening not wider than six metres to retain the aesthetic value of the Plot, and minimize inconvenience to other Home Owners;
- 2.1.1 All building staff, other than when commuting to the plot, are not allowed access to other areas of the estate.
- 2.1.2 Access to the Plot shall be limited to one opening situated facing the access road to the Plot;
- 2.1.3 No materials may be temporarily received, stored, mixed or prepared on any roads or outside the Plot;
- 2.1.4 The shade net screen may only be removed upon completion of the Building and issuance of completion certificate by the Board;
- 2.1.5 The Main Contractor must ensure that the Plot is kept as clean as reasonably possible at all times;
- 2.1.6 Removal of building rubble, general cleaning and good housekeeping practice must take place during building operations, with particular care to be taken to leave the Plot in a clean condition at all times;
- 2.1.7 Any material, including plastic bags or chemicals, which may be hazardous or which may blow off the Plot must be disposed off or properly secured before leaving Plot each day;
- 2.1.8 No rubbish may be burnt or buried on the Plot;
- 2.1.9 At least one portable toilet must be provided on the Plot whilst construction is taking place, which must be positioned within the Plot and be screened so as to minimize any inconvenience to surrounding Plots;
- 2.1.10 Construction activity shall strictly be done between the following hours:-07:00 hours until 18:00 hours, on weekdays and 07:00 hours until 14:00 hours on Saturdays. No construction activity may take place on Sundays and Public Holidays;
- 2.1.11 Contractors may place a temporary lockable store facility or a 20ft or a 40ft container on the Plot within the construction area to secure building material. Other than this store no other movable or immovable structure may be placed, temporarily or permanently, on the property without written approval from the Board;
- 2.1.12 No vehicle in excess of 22 tons gross weight on 3 axles or 28 tons gross on 4 axles may use the roads on the Development;

- 2.1.13 Vehicles must comply with all the speed limit signage;
- 2.1.14 No construction vehicles may be parked outside of the Plot;
- 2.1.15 No delivery vehicles are permitted to use the roads on the Development unless accompanied by the Main Contractor at all times;
- 2.1.16 Delivery vehicles must check in at security and remain at the gate until the Main Contractor arrives to escort them to the Plot;
- 2.1.17 Main Contractor may neatly erect one sign clearly indicating its name and contact details at the entrance to the demarcated construction area during the period of construction. This sign may not exceed an area of 1 metre square and must be removed on completion of the Building. No other signage is permitted on the Plot or on the roads;
- 2.1.18 Contractor's staff to wear identifiable clothing at all times while on the Development;
- 2.1.19 No Contractor's staff is permitted to remain on the Plot after the permitted construction hours set out in clause 2.1.10 hereinabove;
- 2.1.20 No Contractor's staff may move around the Development or leave the Plot other than on the Contractor's vehicle;
- 2.1.21 Walking from the Plot to other Plots or to and from the main gate is strictly not permitted;
- 2.1.22 Contractor's staff are not permitted on the property prior to 06:30 Monday to Saturday, excluding public holidays, and must depart from the development by 18:30 Monday to Friday & 14:30 on Saturday;
- 2.1.23 Contractors must ensure that noise and dust is kept as low as reasonably possible to minimize inconvenience to other persons on the property. Dust suppression with water may be required;
- 2.1.24 Whistles, hooters and sirens are not permitted;
- 2.1.25 If additional security is required by a contractor this must be arranged through the security organization approved and employed by the Board. Kilimanjaro Golf Development will not be held responsible for any losses;
- 2.1.26 Homeowners and Contractors must ensure they clear the Plot of any combustible materials, and take adequate steps to prevent damage by fire;
- 2.1.27 Open fires for cooking or other purposes are not permitted unless supervised and adequately screened to prevent them from spreading;
- 2.1.28 The Board takes no responsibility in the event of damage through the spread of uncontrolled fires on the Plot or from any cause whatsoever;
- 2.1.29 The Main Contractor shall be fully responsible for the conduct and discipline of all persons employed, including staff of Sub Contractors and delivery personnel while on the Development;
- 2.1.30 If any person is found disturbing or endangering an animal, fish or bird life, or is found pilfering, stealing or removing material from the Development without permission, or is involved in any form of violence, that person shall be permanently denied access to the Development, and the Contractor who employs that person may be removed from the

Plot and denied the opportunity to undertake any further work on the Plot. In this regard Kilimanjaro Golf Development or the Board shall not be liable for any breach of contract or otherwise as between the Home Owner and the Contractor;

- 2.1.31 Any damages caused by employees, Sub Contractors or delivery vehicles shall be the responsibility of the Main Contractor. These damages include damage to roads, kerbs, signage, plants, irrigation, wildlife and private property. The Board shall have sole discretion as to the nature, extent and value of these damages, and the identification of respective vehicles and persons;
- 2.1.32 Compliance with the general rules and requirements of all relevant Health and Safety, employment and general and all applicable legislation is mandatory;
- 2.1.33 Contractors are to co-operate with the Board and comply with their directives at all times;
- 2.1.34 A security organization has been contracted by the Board to control access and security on the Development. All persons on the Development must comply with and adhere to the security regulations and controls required by the Board from time to time. Vehicles entering and exiting the Development may be subject to be searched at any time;
- 2.1.35 Security guards at exit gates will require a signed note from the Main Contractor before allowing equipment and machinery to be removed from the Development;
- 2.1.36 Any contravention of the security procedures or requirements shall be considered a severe breach of these regulations. Appropriate consequences will be implemented by the Board;
- 2.1.37 Trees, shrubs or plants may be planted by Homeowners on their Plot in accordance with the landscaping and garden guide lines set out hereunder;
- 2.1.38 Garden irrigation systems may be used and considering water is a valuable commodity, the Board encourages that they be automated and are installed by an irrigation contractor approved by the Board;
- 2.1.39 If any specific complaint or request to refrain from any activity is received from three Homeowners in the surrounding area, the Contractor must cease the offending activity forthwith until the Board gives specific approval to continue which approval may be on such terms and conditions as is considered appropriate to the circumstances;
- 2.1.40 On completion of construction the Homeowner shall request the Board to inspect the Plot and the structures;
- 2.1.41 The Main Contractor will not hand over the Building to the Home Owner (or in the event the Home Owner is constructing himself then will not occupy the Building) until the Board has specifically approved the completion of the project and issued a completion certificate.

2.2 The Board shall ensure that:-

- 2.2.1 The regulations relating to the Plot and construction have been complied with;
- 2.2.2 The Plot has been properly cleaned and tidied;
- 2.2.3 Direct access roads to the Plot and verges have been repaired and are in good condition;
- 2.2.4 The Building is in accordance with an approved design;



- 2.2.5 The area surrounding the Plot has been restored to a natural state, as far as reasonably possible;
- 2.2.6 Provided the Board is satisfied with the condition of the Plot, the area surrounding the Plot and the Building erected thereon, they shall advise the Home Owner accordingly and give permission for the shade net screen around the Plot to be removed;
- 2.2.7 The Home Owner and Contractors acknowledge that there is and will from time to time be a considerable amount of construction activity taking place on the Development and therefore the Homeowners, Contractors and all persons working on or visiting the property do so entirely at their own risk and the Board accepts no liability for any damage or injury caused at any time, including while traversing the Plot or using any of the facilities. The Board will keep a permanent record on site of all approved designs of residences which can be referred to by the Home Owners and their architects.





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Client  
Kilimangiro golf & wildlife estate

Project  
2 Bedroom House

Project Number  
Drawing Status

Working Drawing

Note  
All drawing dimensions are in mm unless specified otherwise. These plans to be used in conjunction with structural engineering drawings, electrical drawings as well as mechanical drawings where applicable. Consultant to resolve any conflicts between drawings.

Drawing Names  
Ground Floor

Drawn by  
S.M and F.K  
Date  
07/05/2016

Checked by  
S.M  
Date

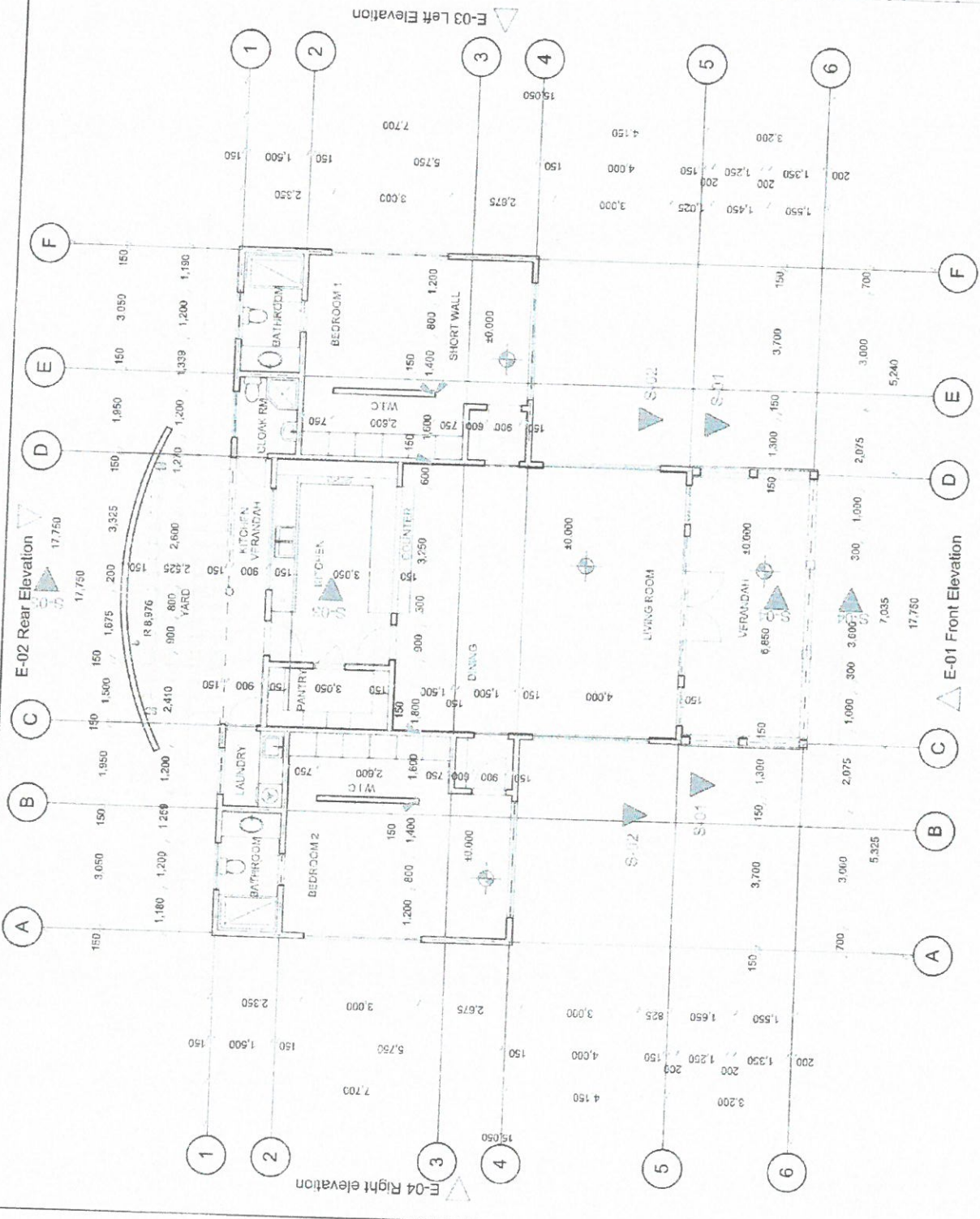
Drawing Scale  
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Drawing Set  
ARCHITECTURAL  
Ground Floor Plan

Layout ID

Layout: A.01.2

Revision Number  
Date



A.01.2

Ground Floor

1:100



MW 222 00 12 / info@jns.co.ke / +254 755 484 853

Client  
Killimanjaro golf & wildlife estate

Project  
2 Bedroom House

Project Number

Drawing Status  
Working Drawing

Note  
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Drawing Names  
Ground Floor

Drawn by  
S.M and F.K

Date  
07/05/2016

Checked by  
S.M

Date

Drawing Scale  
1:100 @ A3

Drawing Set  
ARCHITECTURAL

Layout Name  
Roof Plan

Layout ID

Revision Number

Date

1:100

Ground Floor

Layout: A.01.3



E-02 Rear Elevation

E-04 Right elevation

E-03 Left Elevation

E-01 Front Elevation





Tropic Architects Ltd  
 P.O. Box 117, Auchenair, Dundee  
 www.tropicarchitects.co.uk  
 www.tropicarchitects.co.uk  
 www.tropicarchitects.co.uk

www.tropicarchitects.co.uk  
 Client  
 Kilimanjaro golf & wildlife estate

Project  
 2 Bedroom House

Project Number

Drawing Status

Working Drawing

Note  
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Drawing Name  
**D-05 Detail, S-02 Building Section, D-03 Detail**

Drawn by  
 S.M. and F.K.

Date  
 07/05/2016

Checked by  
 S.M.

Date

Drawing Scale  
 1:10, 1:50 @ A3

Drawing Set

ARCHITECTURAL

Layout Name  
 Building Section S-02 and Details

Layout ID

Revision Number

Date

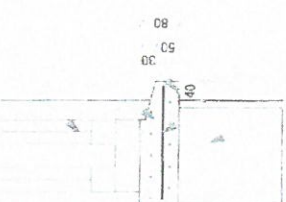
Window as per window detail drawings

Concrete sill with rough finish

Rain water drip off

Weld mesh reinforcement

Set to wall width



1:10 D-05 Detail 1

Wall

25mm x 50mm wooden list to match ceiling

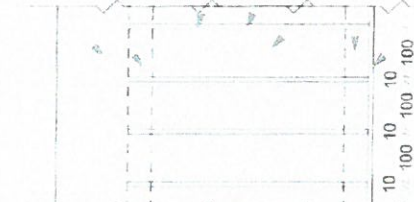
10mm air gap

Set mosquito gauze to keep out insects

20mm x 100mm wooden eaves set perpendicular to wall

25mm x 50mm wooden list to match ceiling

Facia board



2 1:10 D-03 Detail 3

Thatching/drafts baffle combination roof finish

2" x 2" rafters spaced at 350mm c/c

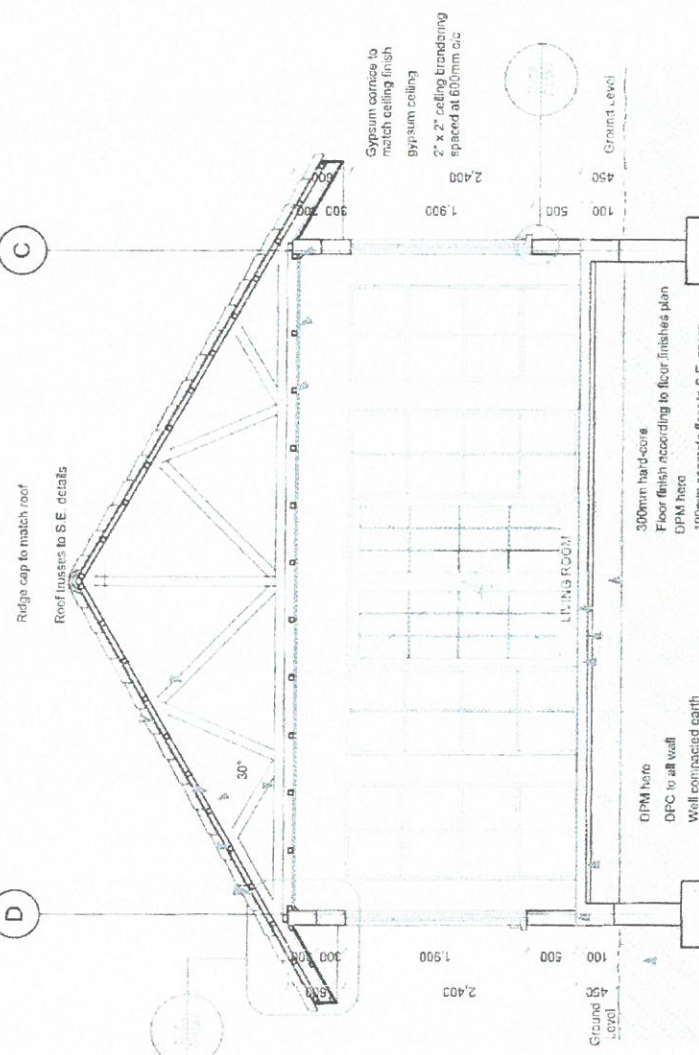
2" x 6" rafters spaced at 1500mm c/c

Ridge cap to match roof

Roof trusses to S.E. details

C

D



Gypsum cornice to match ceiling finish

Brickwork ceiling

2" x 2" ceiling bracing spaced at 600mm c/c

Ground level

300mm hard-core

Floor finish according to floor finishes plan

DPM here

100mm concrete floor to S.E. spec

Ground level

60mm hole

DPC to all walls

Wall compacted earth

1:50 S-02 Building Section





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Client  
Kilimanjaro golf & wildlife estate

Project  
2 Bedroom House

Project Number

Drawing Status  
Working Drawing

Note  
All drawing dimensions are in mm unless specified otherwise. These plans to be used in conjunction with structural engineering drawings, electrical drawings as well as mechanical drawings where applicable. Consultant to resolve any conflicts between drawings.

Drawing Names  
E-01 Front Elevation, E-02 Rear Elevation

Drawn by  
S.M and F.K

Date  
07/06/2016

Checked by  
S.M

Date

Drawing Scale  
1:100 @ A3

Drawing Set  
ARCHITECTURAL

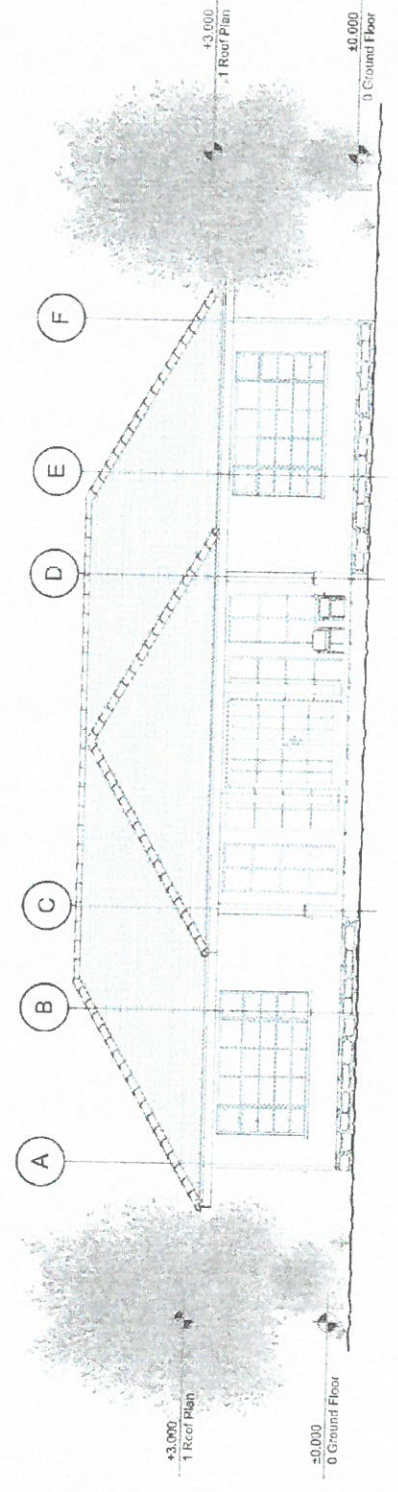
Layout Name  
Front and Rear Elevation

Layout ID

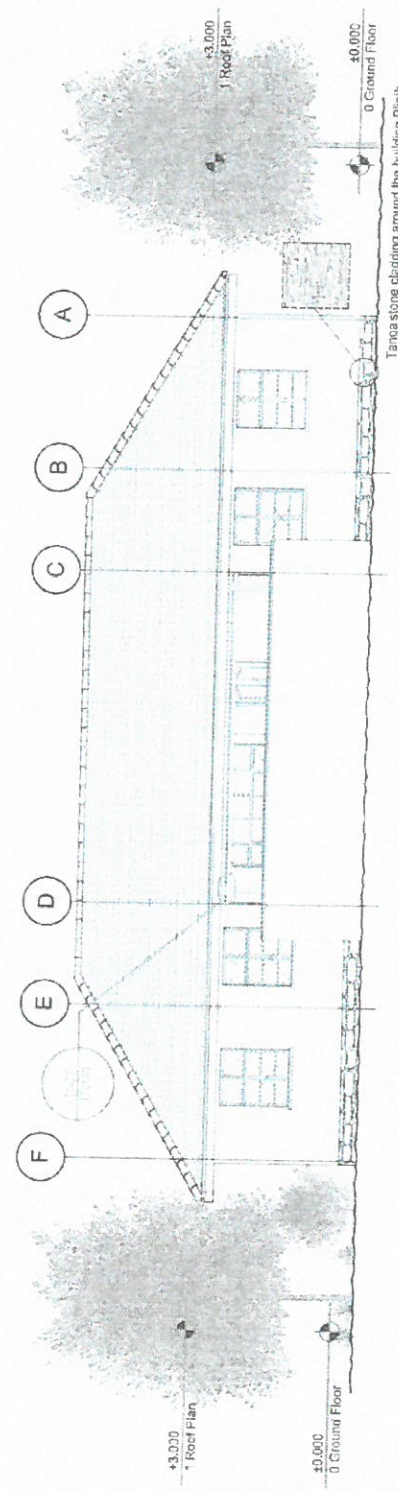
Layout: A.01.7

Revision Number

Date



E-01 Front Elevation  
1:100



E-02 Rear Elevation  
1:100

Tangajene cladding around the building Plinth



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Client: Kilimanjaro golf & wildlife estate

Project: 2 Bedroom House

Project Number:

Drawing Status:

**Working Drawing**

Note: All drawing dimensions are in mm unless specified otherwise. These plans to be used in conjunction with structural engineering drawings, electrical drawings as well as mechanical drawings where applicable. Cons. Abant to resolve any conflicts between drawings.

Drawing Name: **E-03 Left Elevation, E-04 Right elevation**

Drawn by: S.M and F.K Date: 07/05/2016

Checked by: S.M Date:

Drawing Scale: 1:100 @ A3

Drawing Set:

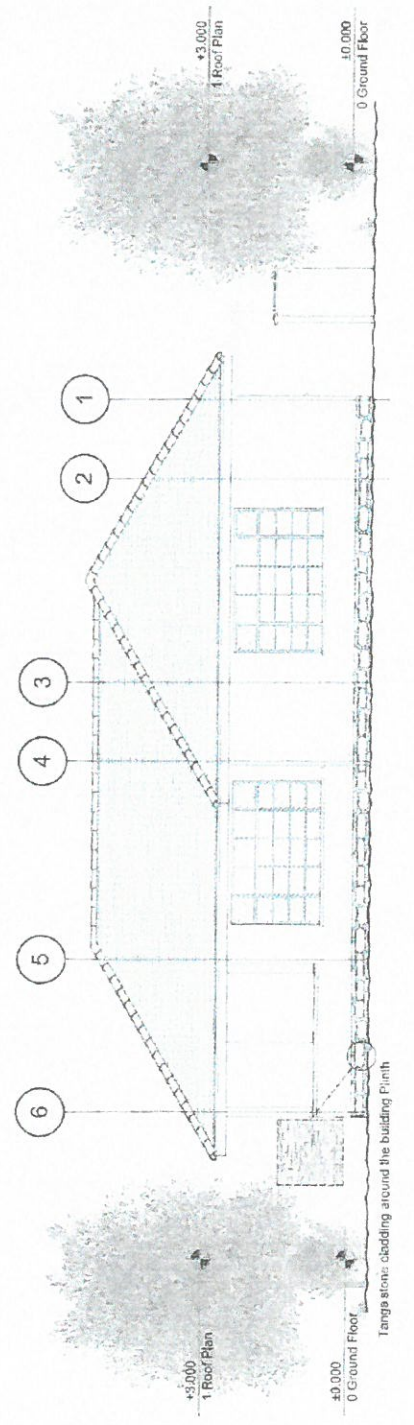
**ARCHITECTURAL**

Layout Name: **Left and Right Elevation**

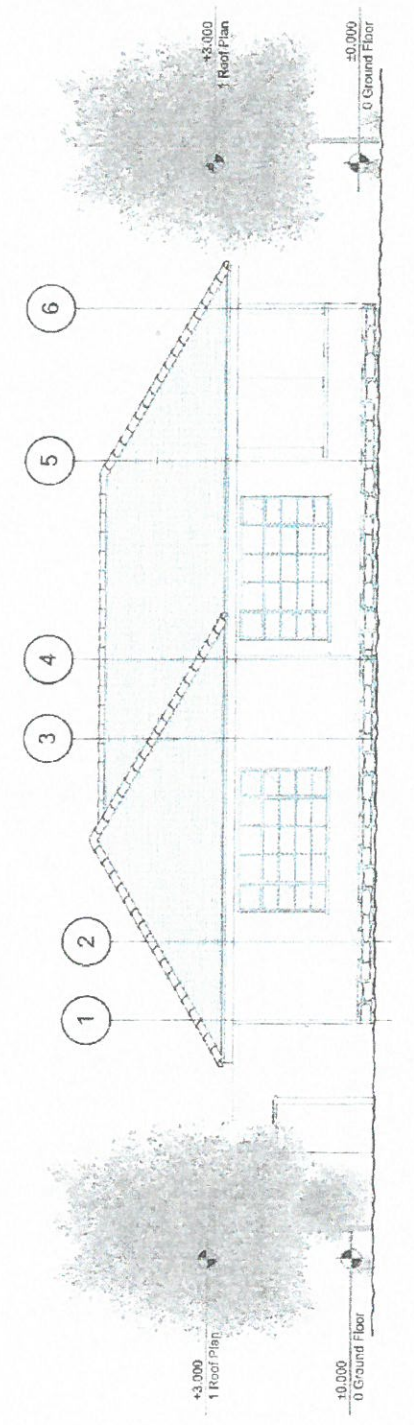
Layout ID:

**Layout: A.01.8**

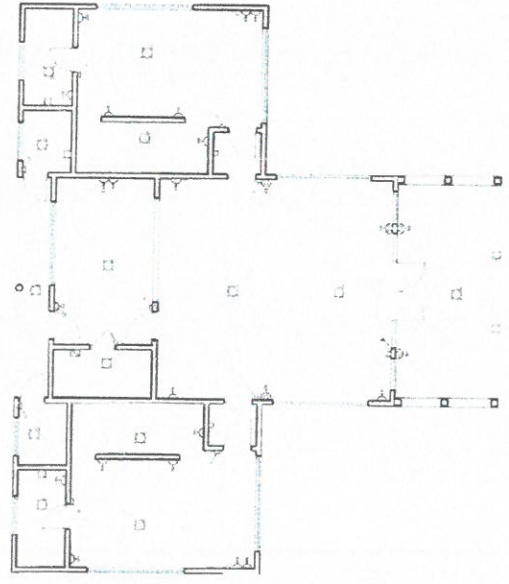
Revision Number: Date:



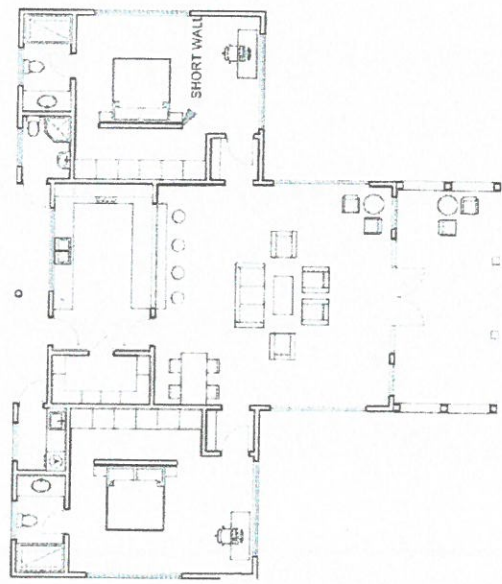
**E-03 Left Elevation**  
1:100



**E-04 Right elevation**  
1:100



1:150 Ground Floor 1



1:150 Furniture Layout 2

**SCHEMATIC ELECTRICAL LAYOUT**

ELECTRICAL SOCKETS	
SYMBOL	HEIGHT IN MM A.F.L. NAME
FL	00 Socket outlet 2 gang
300	300 Socket outlet 2 gang
1000	1000 Socket outlet 2 gang
1500	1500 Socket outlet 2 gang
Cooker	Cooker unit 45 A switched

ELECTRICAL SWITCHES	
SYMBOL	HEIGHT IN MM A.F.L. NAME
1500	1500 Light switch 6A, one way / one gang
1500	1500 Light switch 6A, one way / two gang
1500	1500 Light switch 6A, one way / three gang
1500	1500 Light switch 6A, one way / four gang
1500	1500 Light switch 6A, two way / one gang

**ELECTRICAL LAMPS**

SYMBOL	HEIGHT IN MM A.F.L. NAME
2000	2000 Wall mounted exterior lamp
1800	1800 Wall mounted bathroom mirror lamp
Ceiling	Suspended ceiling light fixture
3000	3000 Wall mounted security light

**INTERNET DATAOUTLET, DISTRIBUTION BOARD AND WIRED CONNECTIONS**

SYMBOL	HEIGHT IN MM A.F.L. NAME
1500	1500 Wired connections
300	300 Distribution board
300	300 Twin internet data outlet
300	300 Twin internet data outlet with telephone outlet
300	300 TV cable outlet

1:50 W-01 Worksheet 3 1:50 W-01 Worksheet 4



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Client  
Kilimanjaro golf & wildlife estate

Project  
2 Bedroom House

Project Number

Drawing Status

**Working Drawing**

Note  
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**Ground Floor, Furniture Layout, W-01 Worksheet**

Drawing Name  
Ground Floor, Furniture Layout, W-01 Worksheet

Drawn by  
S.M and F.K. Date  
07/05/2016

Checked by  
S.M. Date

Drawing Scale  
1:150, 1:50 @ A3

**ARCHITECTURAL**

Layout Name  
Electrical and Furniture layout plan

Layout ID  
Layout: A.01.9

Revision Number  
Date