

# Business Proposal for Victoria Treasures Limited

Residential Housing Development Project – Plot No. 1237, Block A,  
Luchelele Ward, Mwanza City

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# 1. INTRODUCTION

Victoria Treasures Limited is pleased to present a comprehensive business proposal for the development of a modern residential estate on Plot No. 1237, Block A, Luchelele Area , famously known as Shadi Village , located in Mwanza City, Tanzania .

The project is strategically positioned just 16 km from Mwanza City Center , 6 km from Saint Augustine University , and 1 km from Faulu Beach Resort , offering residents unparalleled access to educational, recreational, and commercial facilities. The property spans 69.58 acres (27.81 hectares) with land coordinates:

- Latitude: 2°38'29.87"N
- Longitude: 32°52'39.61"W
- Latitude: 2°38'10.28"N
- Longitude: 32°52'43.97"W

This prime location provides breathtaking views of Lake Victoria Basin , making it an ideal site for upscale residential living.

The project will be developed in three phases , incorporating residential units , commercial spaces , recreational amenities , and community infrastructure , all aligned with the approved Mwanza Master Plan Layout.

Victoria Treasures Limited presents a **USD 14.83 million (TZS 36.5 billion)** mixed-use development comprising:

- **142 two-bedroom units** (Phase 1)
- **193 three-bedroom units** (Phase 2)
- **Commercial complex** (mall, health facility, sports center)
- **Leisure amenities** (swimming pools, sports courts, gardens)
- **Revenue-generating parking spaces**

## 2. INVESTMENT OBJECTIVE, SECTOR & PRODUCTS

### INVESTMENT OBJECTIVE

To develop a mixed-use residential community that offers high-quality housing options, promotes sustainable urban development, and generates long-term returns for investors.

### SECTOR

Real Estate Development – Residential, Commercial, Recreational

### PRODUCTS OFFERED

- Phase I : 142 × 2-bedroom houses @ TZS 110,000,000 per unit
- Phase II : 193 × 3-bedroom houses @ TZS 130,000,000 per unit
- Phase III : Recreational, commercial, and green space development including:
  - Four Elevations (North, South, East, West) ensuring aesthetic harmony
  - Open Spaces for relaxation and outdoor activities
  - Reserved Spaces for future expansion or special use
  - Commercial Mall for retail and service businesses
  - Gymnastics & Aerobics Area for fitness enthusiasts
  - Health Facility for basic medical care
  - Estate Administration Office for management purposes
  - General Parking zones throughout the estate
  - Security & Fire House for safety and emergency response
  - Gardens enhancing visual appeal and environmental sustainability
  - Leisure Pools separated by age group
  - Sports Facilities: swimming pool, tennis courts, volleyball, handball, badminton, and football pitch
  - Road Network ensuring connectivity across the estate

All these features are included in the total cost of the project, as detailed in the EPC contract with Green Featherz Building Contracting LLC.

### 3. PROJECT OBJECTIVES

- Deliver modern, affordable, and sustainable housing solutions.
- Create employment opportunities during construction and operation.
- Enhance the quality of life through integrated social and recreational infrastructure.
- Promote economic growth in Mwanza through real estate investment.
- Align with national and municipal development plans.

### 4. TECHNICAL SPECIFICATIONS

Each house shall meet international standards in design, materials, and finishes:

Feature	Specification
Foundation	Reinforced concrete raft foundation
Walls	Hollow concrete blocks with internal plastering
Roof	Galvanized steel trusses with aluminum roofing sheets
Electrical	Pre-wired with circuit breakers and sockets
Plumbing	PVC pipes with hot/cold water system
Flooring	Ceramic tiles in living areas, bedrooms, and bathrooms
Windows & Doors	Aluminum sliding windows and wooden doors
Interior Finish	Painted walls and ceilings

All buildings will comply with Tanzania Bureau of Standards (TBS) and National Environmental Management Council (NEMC) regulations.

## 5. CONCEPT DESIGN

The concept integrates two distinct house designs (attached: *Two Bedroom Designs.pdf*) and aligns with the Mwanza Master Plan Layout (*Mwanza Plan Layout.pdf*). Key elements include:

- Four Elevations (North, South, East, West) ensuring aesthetic harmony.
- Open Spaces for relaxation and outdoor activities.
- Reserved Spaces for future expansion or special use.
- Commercial Mall for retail and service businesses.
- Gymnastics & Aerobics Area for fitness enthusiasts.
- Health Facility for basic medical care.
- Estate Administration Office for management purposes.
- General Parking zones throughout the estate.
- Security & Fire House for safety and emergency response.
- Gardens enhancing visual appeal and environmental sustainability.
- Leisure Pools separated by age group.
- Sports Facilities : swimming pool, tennis courts, volleyball, handball, badminton, and football pitch.
- Road Network ensuring seamless connectivity across the estate.

All these components are included in the EPC Turnkey Contract with Green Featherz Building Contracting LLC and factored into the overall project cost.

## 6. PROPOSED UNITS DISTRIBUTION AND SPACE MATRIX

Unit Type	Quantity	Unit Price (TZS)	Total Revenue (TZS)
2-Bedroom Houses	142	110,000,000	15,620,000,000
3-Bedroom Houses	193	130,000,000	25,090,000,000
Total Residential Revenue	335 Units	—	40,710,000,000

## 7. LAND USE MATRIX

Land Use	Percentage (%)	Area (Hectares)
Residential	50%	13.91
Recreational	20%	5.56
Commercial	10%	2.78
Green/Open Spaces	15%	4.17
Infrastructure	5%	1.39
Total	100%	27.81

## 8. PROJECT FINANCIAL ANALYSIS AND PLAN

### REVENUE GENERATION PLAN (ANNUAL)

Source	Revenue (TZS)
2-Bedroom Houses (Phase I)	15,620,000,000
3-Bedroom Houses (Phase II)	25,090,000,000
Commercial Mall Rentals (5 yrs)	5,000,000,000
Other Amenities & Services	2,000,000,000
Total Revenue	47,710,000,000

\*Conversion rate: 1 USD = 2,460 TZS

### REVENUE STREAMS (ANNUAL)

Source	Units	Rate	Annual Revenue (TZS)
<b>Residential Sales</b>			
- 2-Bedroom (Phase 1)	142	40,000,000	5,680,000,000
- 3-Bedroom (Phase 2)	193	50,000,000	9,650,000,000
<b>Commercial Rentals</b>			
- Mall Space	5,000 sqm	60,000/sqm/yr	300,000,000

<b>Source</b>	<b>Units</b>	<b>Rate</b>	<b>Annual Revenue (TZS)</b>
- <b>Health Facility</b>	<b>1</b>	<b>15,000,000/mo</b>	<b>180,000,000</b>
- <b>Sports Center</b>	<b>500 members</b>	<b>250,000/yr</b>	<b>125,000,000</b>
<b>Parking Fees</b>	<b>300 slots</b>	<b>600/day</b>	<b>65,700,000</b>
<b>Total Annual Revenue</b>			<b>15,900,700,000</b>

## COST BREAKDOWN

Cost Component	Amount (USD)	Amount (TZS)
Land Acquisition	N/A	Included in equity contribution
Residential Construction (2 & 3-bedroom houses)	USD 6,000,000	TZS 14,040,000,000
Commercial Mall & Estate Administration	USD 2,000,000	TZS 4,680,000,000
Recreational Facilities (sports grounds, pools, courts, gym)	USD 3,000,000	TZS 7,020,000,000
Green Spaces, Gardens & Reserved Areas	USD 500,000	TZS 1,170,000,000
Road Network, Parking & Utilities	USD 1,500,000	TZS 3,510,000,000
Architectural & Engineering Fees	USD 300,000	TZS 702,000,000
Marketing & Sales	USD 200,000	TZS 468,000,000
Contingency Fund	USD 334,070	TZS 781,709,400
Total Estimated Project Cost	USD 14,834,070	TZS 34,371,709,400

## NET PROFIT


- Total Revenue : TZS 47,710,000,000
- Total Cost : TZS 34,371,709,400
- Net Profit : TZS 13,338,290,600

## RETURN ON INVESTMENT (ROI)

$ROI = (\text{Net Profit} / \text{Total Cost}) \times 100$

## 9. ESTIMATED PROJECT COSTS

Component	USD	TZS Equivalent
Land (owned)	1,500,000	3.7B
Construction (residential)	8,000,000	19.7B
Commercial Facilities	3,500,000	8.6B
Infrastructure	1,300,000	3.2B
Contingency	334,070	820M
Administration	300,000	740M
<b>Total</b>	<b>14,834,070</b>	<b>36.5B</b>


 Alignment Note : The total estimated project cost of USD 14,834,070 (TZS 34.37 billion) matches the amount funded by Green Featherz Building Contracting LLC under the EPC turnkey contract.

# 10. INVESTMENT COST AND COST OF FINANCING

- Land Provided By : Victoria Treasures Limited (Fully owned)
- Financing Partner : Green Featherz Building Contracting LLC , Dubai, UAE
- Contract Reference : EPC Turnkey Contract No. EPCTFG/CDRC/VT/FHZ/091226 dated December 7, 2025
- Project Funding : USD 14,834,070 (Fourteen million eight hundred thirty-four thousand seventy US dollars only)
- Repayment Schedule : USD 206,028 monthly over 72 months after a 12-month grace period
- Collateral : Mortgage of the land title deed in favor of Green Featherz

# 11. FINANCING PLAN

Funding Source	Amount (USD)	% Share
Green Featherz Building Contracting LLC	USD 14,834,070	100%
Victoria Treasures Limited (Land Equity)	N/A	0%
Total Funding	USD 14,834,070	100%

 Alignment Note : The funding structure fully supports the total project cost. The repayment schedule ensures full recovery of the principal over 72 months after a 12-month grace period.

## 12. SOURCE OF SUPPLY OF INPUTS

<b>Input</b>	<b>Supplier</b>
Cement	Mbeya Cement, Dangote Cement
Steel	China National Machinery Import & Export Corporation
Bricks	Local manufacturers
Labor	Skilled and unskilled labor from Mwanza Region
Equipment	Local rental companies
Water & Electricity	TANESCO & Wami Water Board

## 13. CAPACITY OF THE PROJECT

- Residential Capacity : 335 homes
- Commercial Capacity : 20 shops in the mall
- Community Capacity : Health facility serving up to 1,000 residents/month
- Employment Creation : ~300 jobs during construction; ~50 permanent roles post-completion

# 14. MARKETING PLAN

- Target Market : Middle-income families, expatriates, professionals, students
- Channels : Digital marketing, billboards, print media, real estate exhibitions
- Sales Strategy : Early bird discounts, installment plans, investor partnerships
- Branding : “Shadi Villas – Living by the Lake”


# 15. IMPLEMENTATION PLAN AND SCHEDULE

Phase	Duration	Key Deliverables
<b>Pre-Construction</b>	Months 1-3	- TIC registration - Architectural designs - Contractor selection
<b>Phase 1</b>	Months 4-24	- 142x 2-bed units - Basic infrastructure - 50% commercial space
<b>Phase 2</b>	Months 25-42	- 193x 3-bed units - Sports facilities - Remaining commercial
<b>Finalization</b>	Months 43-48	- Landscaping - Operational systems - Tenant onboarding

# 16. FINANCIAL PLAN FOR NEXT 5 YEARS

Year	Activities	Revenue (TZS)	Expenses (TZS)	Net Profit (TZS)
1	Phase 1 Construction (142x 2-bed)	5,680,000,000	18,250,000,000	(12,570,000,000)
2	Phase 2 Construction (193x 3-bed)	9,650,000,000	12,000,000,000	(2,350,000,000)
3	Commercial Operations Start	15,900,700,000	2,500,000,000	13,400,700,000
4	Full Operations	15,900,700,000	2,000,000,000	13,900,700,000
5	Mature Operations	15,900,700,000	1,800,000,000	14,100,700,000

\*Note: Break-even achieved by Year 3 with cumulative positive cash flow of TZS 24.4 billion by Year 5\*

 Alignment Note : The revenue generated from housing sales and rentals comfortably supports the repayment schedule and generates surplus cash flow.

## 17. CONCLUSION

Victoria Treasures Limited's proposed residential development at Plot No. 1237, Luchebele Ward, Mwanza , represents a transformative opportunity to invest in Tanzania's growing real estate sector. With a strong financial outlook, strategic location, and world-class amenities, this project promises robust returns and significant socio-economic impact.

We welcome collaboration with Green Featherz Building Contracting LLC and invite all stakeholders to join us in realizing this vision.

# ATTACHMENTS

Two Bedroom Designs

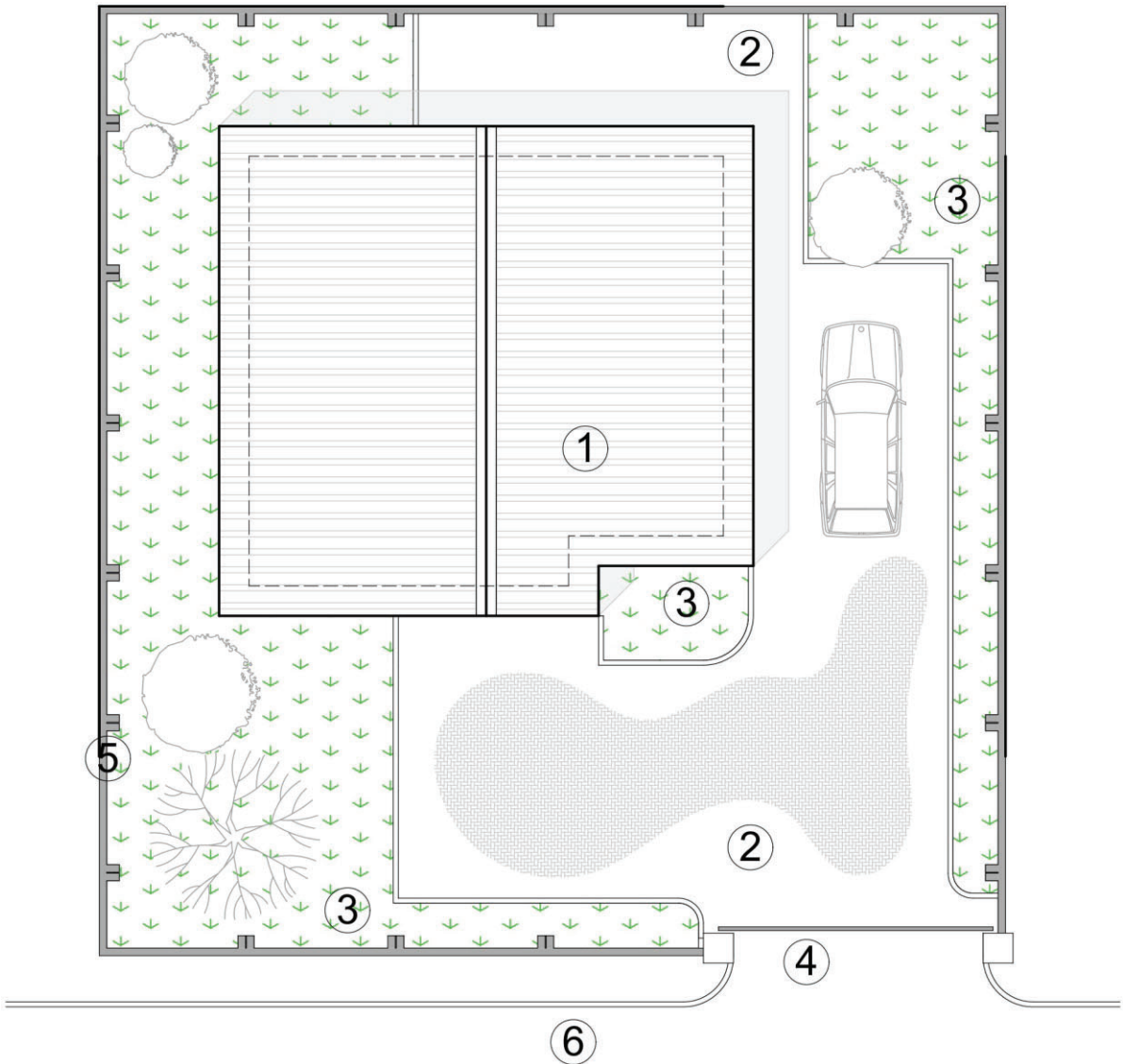


## TWO BEDROOM

The proposal aims to provide low cost social housing designs that is not expensive to build and also ideal for a family to live in. It consists of two (2) designs, Type A and Type B. Both designs cover an area of 80m<sup>2</sup>. The layout Plans consist of the Living room, Kitchen, Bath and Toilet, Master Bedroom, a second Bedroom and Verandahs.



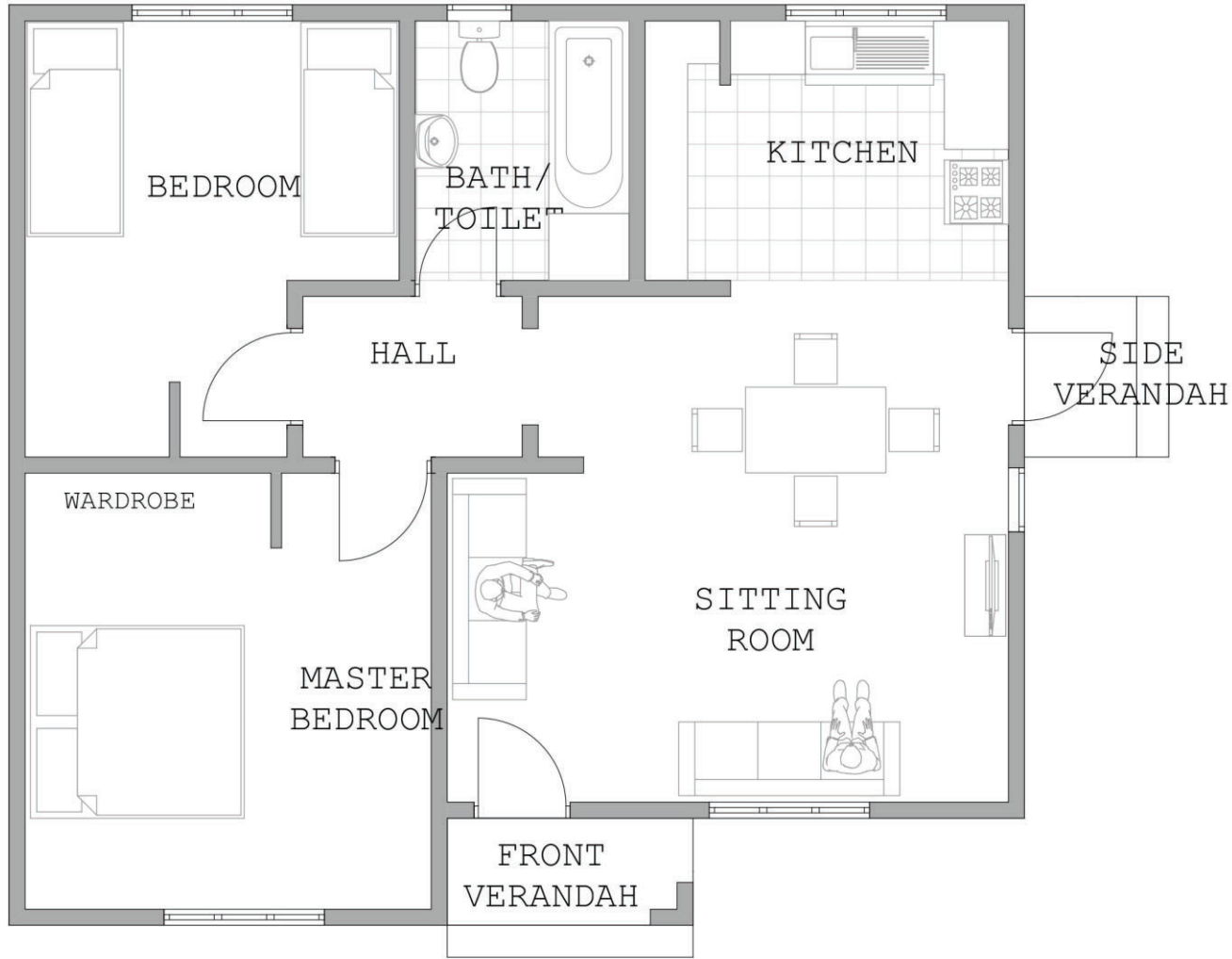
TYPE A



LEGEND

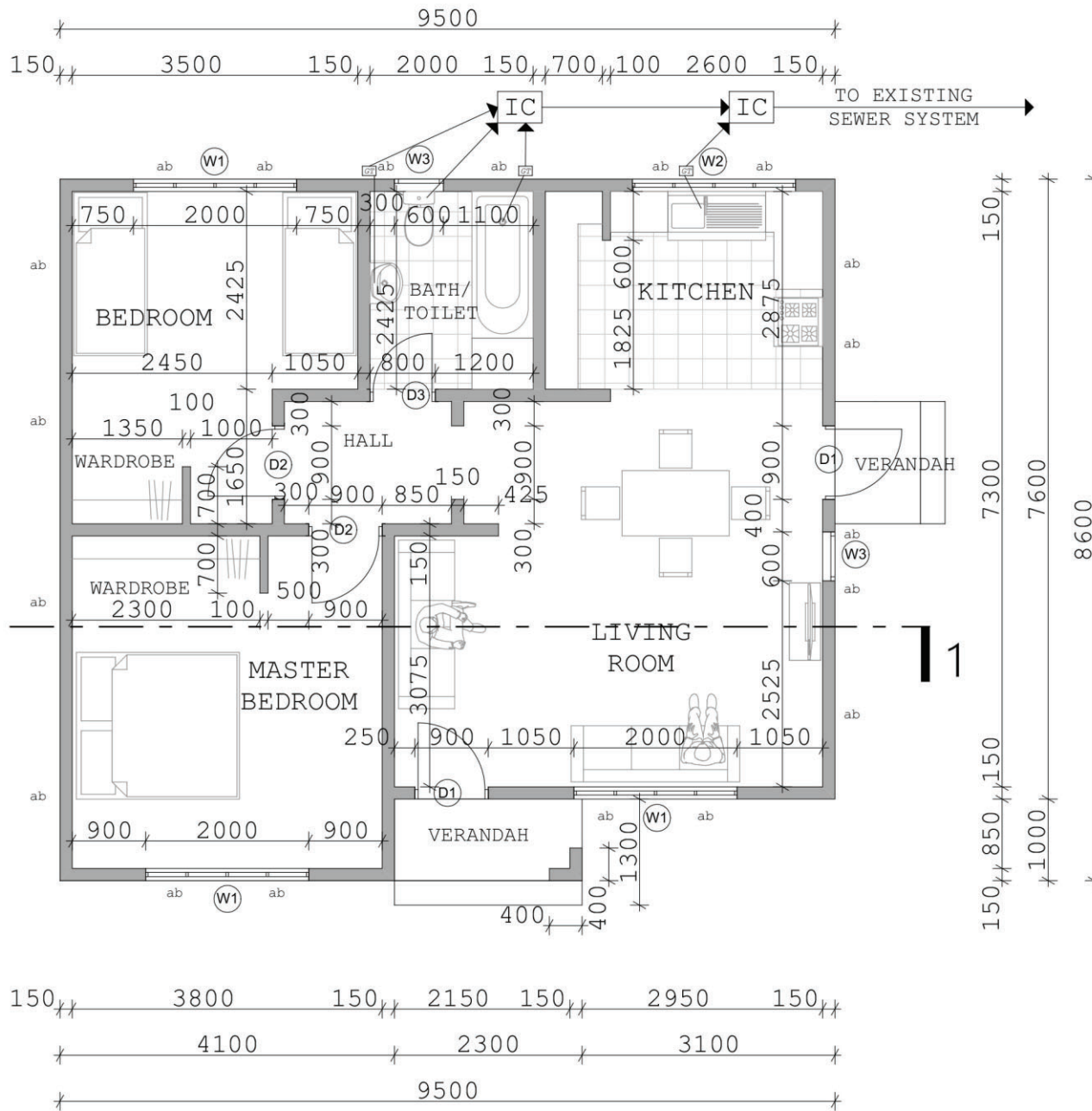
- 1. PROPOSED HOUSE
- 2. PAVED AREA
- 3. GREEN AREA
- 4. ENTRANCE GATE
- 5. BOUNDARY WALL FENCE
- 6. ACCESS ROAD

SITE PLAN  
TYPE A



## FURNITURE LAYOUT

TYPE A



**FLOOR PLAN**  
TYPE A

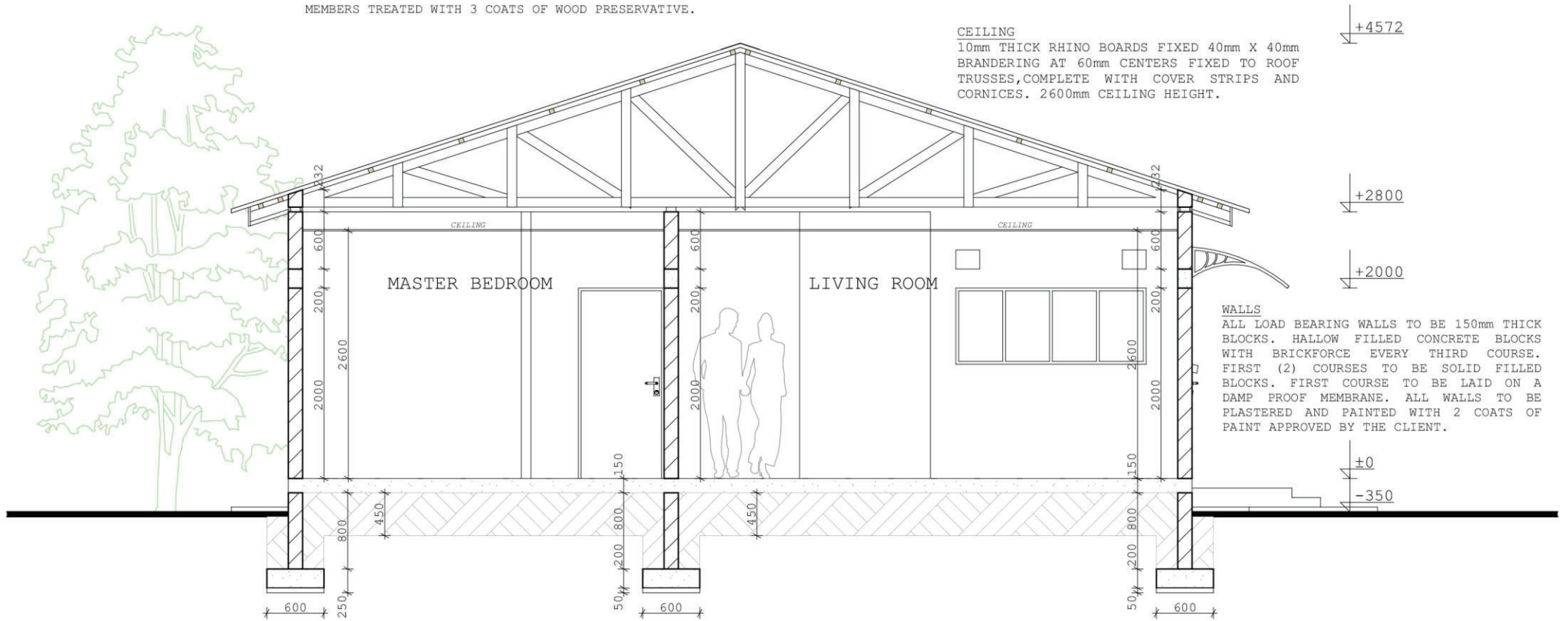
**ROOF**  
 PITCH LAID AT 18°. IBR ROOFING SHEETS NAILED TO 50mm X 50mm TIMBER PURLINS NAILED TO 100mm X 50mm TIMBER TRUSSES ON 100mm X 50mm TIMBER WALL PLATE TIED DOWN THREE COURSES WITH GALVINEZED IRON WIRE. ALL TIMBER MEMBERS TREATED WITH 3 COATS OF WOOD PRESERVATIVE.

**CEILING**  
 10mm THICK RHINO BOARDS FIXED 40mm X 40mm BRANDING AT 60mm CENTERS FIXED TO ROOF TRUSSES, COMPLETE WITH COVER STRIPS AND CORNICES. 2600mm CEILING HEIGHT.

**WALLS**  
 ALL LOAD BEARING WALLS TO BE 150mm THICK BLOCKS. HALLOW FILLED CONCRETE BLOCKS WITH BRICKFORCE EVERY THIRD COURSE. FIRST (2) COURSES TO BE SOLID FILLED BLOCKS. FIRST COURSE TO BE LAID ON A DAMP PROOF MEMBRANE. ALL WALLS TO BE PLASTERED AND PAINTED WITH 2 COATS OF PAINT APPROVED BY THE CLIENT.

**FOUNDATIONS**  
 600mm x 200mm STRIP FOUNDATIONS. FOOTING LAID ON 50mm SAND BLINDING. FOUNDATIONS TO BE OF SOLID BLOCKWORK WITH BRICK FORCE ON THIRD COURSE. BACKFILL ON THE FOUNDATIONS TO BE OF LATERITE AND COMPACTED IN LAYERS NOT EXCEEDING 150mm. FOUNDATION TRENCHES TO BE WELL EXCAVATED AND TREATED WITH ANTI-TERMITE POISON.

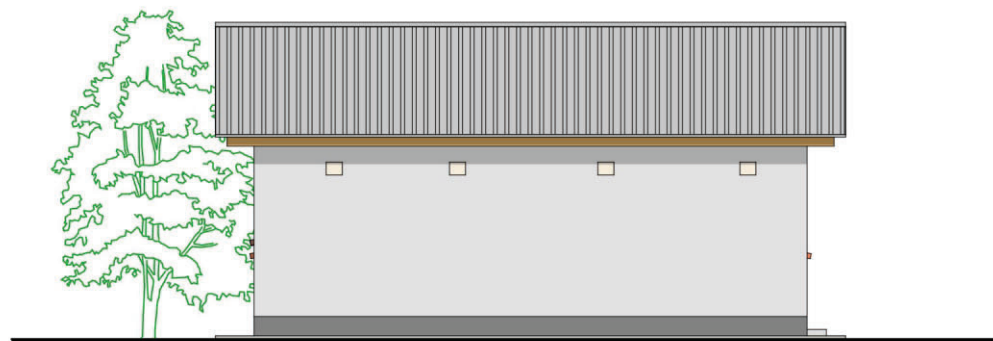
**FLOOR SLAB**  
 40mm SAND AND CEMENT SCREED ON 100mm THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF CONFORCE 257. CONCRETE SLAB LAID ON HEAVY DUTY POLYTHENE SHEETING ON HARDCORE TREATED WITH ANTI-TERMITE POISON.



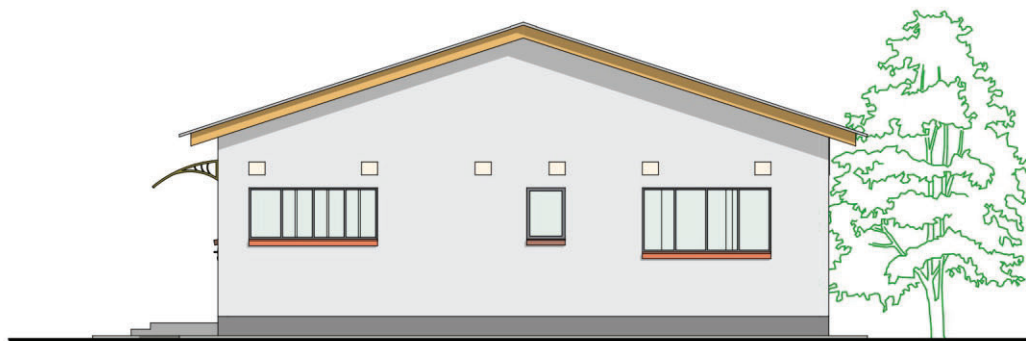
**SECTION 1-1**  
 TYPE A



FRONT ELEVATION  
TYPE A



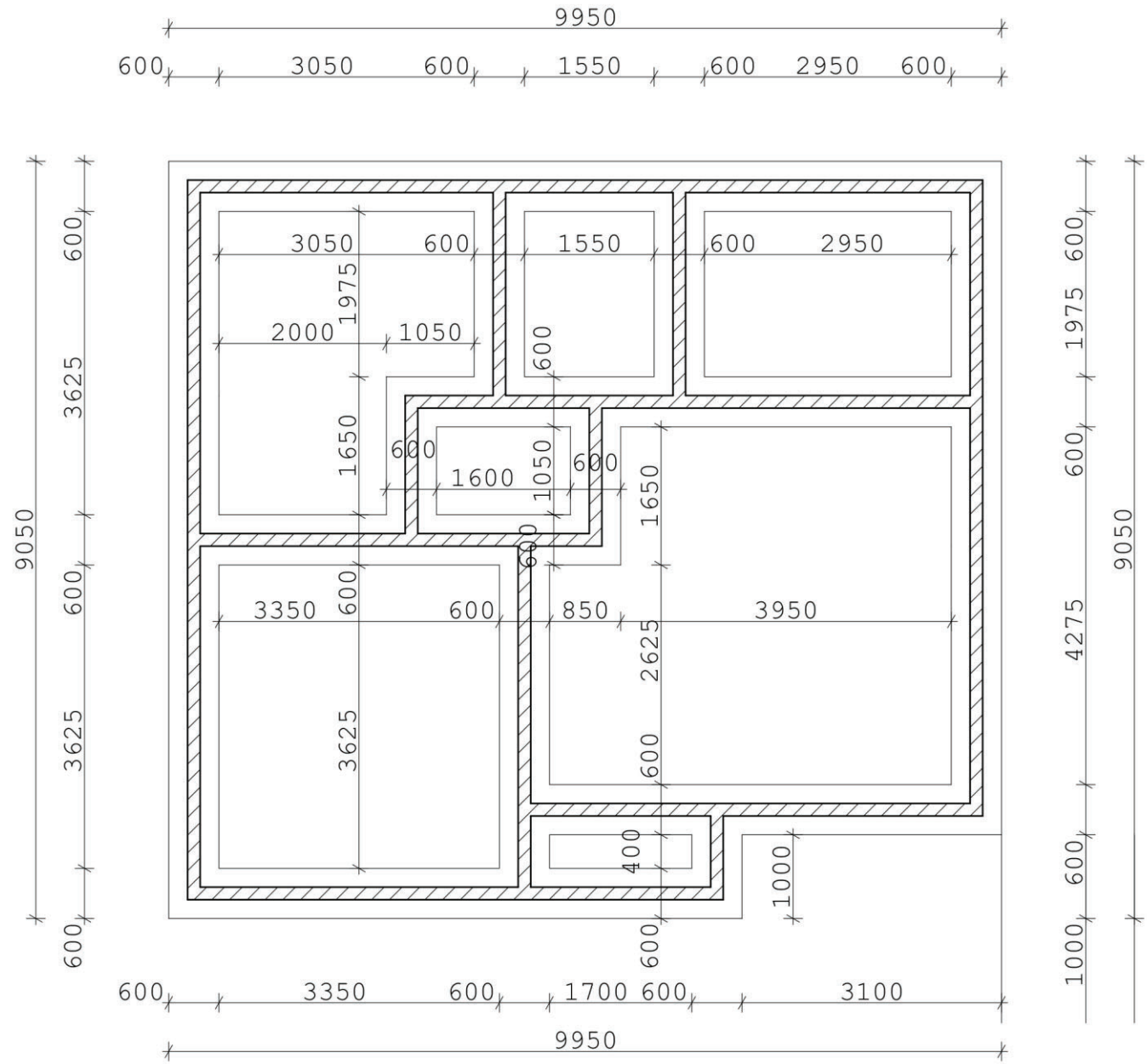
SIDE ELEVATION  
TYPE A



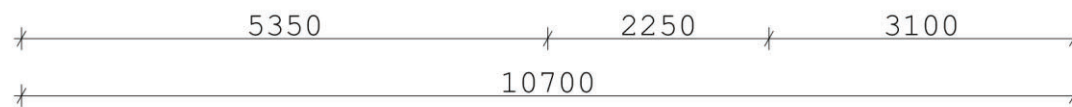
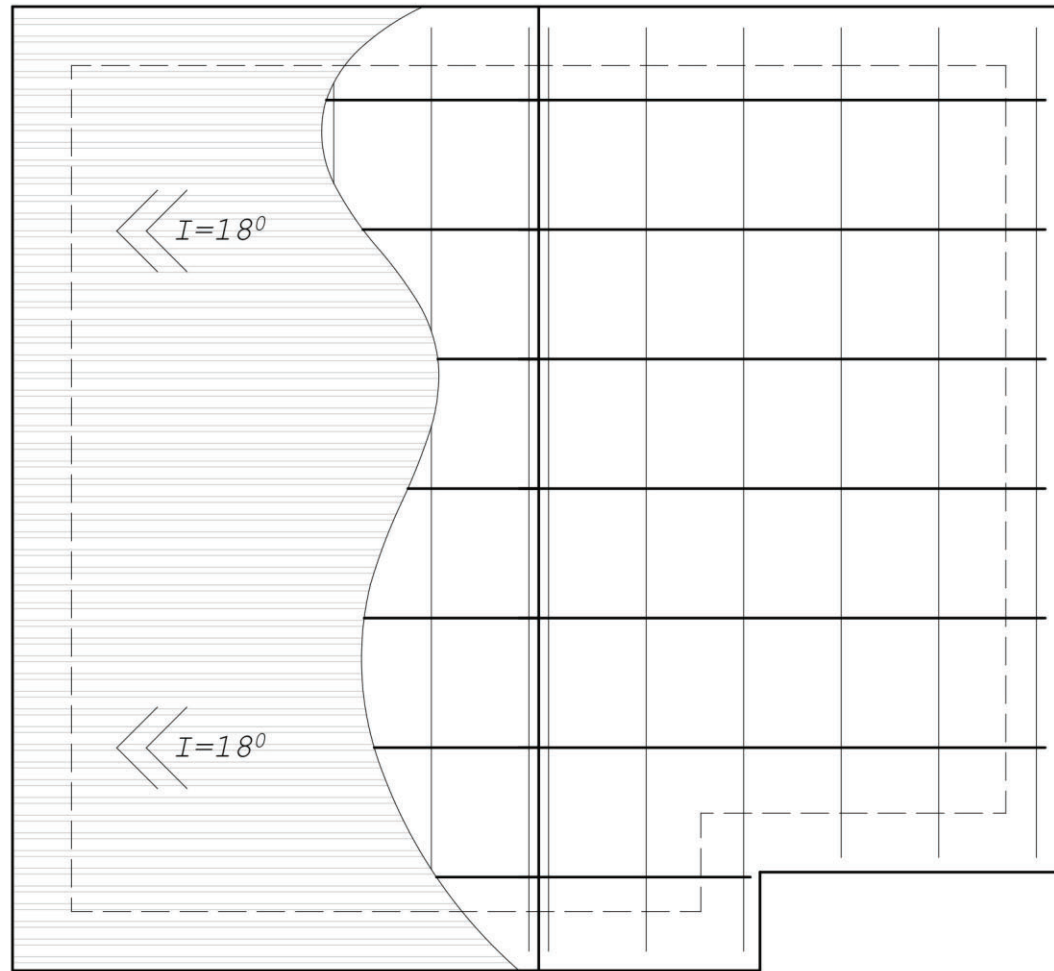
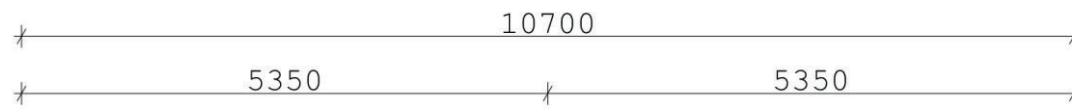
BACK ELEVATION  
TYPE A



SIDE ELEVATION  
TYPE A



FOUNDATION PLAN  
 TYPE A



ROOF PLAN  
TYPE A

DOOR TYPE	D1	D2	D3
	SINGLE LEAF EXTERNAL DOOR	SINGLE LEAF INTERNAL DOOR	SINGLE LEAF INTERNAL DOOR
<b>FRAME</b>			
Type	STEEL FRAME. 1mm MORNACH DOOR FRAMES	STEEL FRAME. 1mm/0.8mm MORNACH DOOR FRAMES	STEEL FRAME. 1mm/0.8mm MORNACH DOOR FRAMES
Size (Structural opening)	900 X 2000	900 x 2000	800 x 2000
<b>DOOR</b>			
Type	SOLID CORE MUKWA OR ROSEWOOD DOOR	SEMI-SOLID CORE FLUSH DOOR	SEMI-SOLID CORE FLUSH DOOR
Size	820 x 1920	820 x 1920	720 x 1920
<b>IRONMONGERY</b>			
Hinges	SUPPLIED WITH DOOR FRAME	SUPPLIED WITH DOOR FRAME	SUPPLIED WITH DOOR FRAME
Handles	SUPPLIED WITH LOCKSET	SUPPLIED WITH LOCKSET	SUPPLIED WITH LOCKSET
Lockset	UNION MORTICE LOCK SET	UNION MORTICE LOCK SET	UNION MORTICE LOCK SET
<b>DOOR NUMBERS</b>	02	02	01

ROOM	AREAS	FLOORS	SKIRTING		WALLS		CEILING		REMARKS	
			CERAMIC TILES	SAND AND CEMENT SCREED	CERAMIC TILES	CERAMIC TILES	MUKWA TIMBER BOARD	PORCELAIN TILES		PLASTER AND GLOSS PAINT
FRONT VERANDAH	3m <sup>2</sup>			●		●	●	●	●	ALL PAINT COLORS TO CLIENTS APPROVAL.  EXTERIOR SIDE OF WALL TO BE PAINTED WITH 3 COATS OF PVA PAINT.
LIVING ROOM	23m <sup>2</sup>			●		●	●	●	●	
DOOR STEP	2m <sup>2</sup>			●		●				
KITCHEN	7m <sup>2</sup>			●		●	●	●	●	
PANTRY	2m <sup>2</sup>			●		●	●	●	●	
HALL	3m <sup>2</sup>			●		●	●	●	●	
MASTER BEDROOM	15m <sup>2</sup>			●		●	●	●	●	
BEDROOM 1	13m <sup>2</sup>			●		●	●	●	●	
BATH/TOILET	5m <sup>2</sup>			●			●	●	●	

WINDOW TYPE	W1	W2	W3	W4
	TRIPLE-SASH WINDOW.	TRIPLE-SASH WINDOW.	SINGLE-SASH WINDOW.	SINGLE-SASH WINDOW.
<b>FRAME</b>				
Type	STEEL FRAME	STEEL FRAME	STEEL FRAME	STEEL FRAME
Size	1500mm x 1000mm 1000mm FROM FLOOR LEVEL	1500mm x 800mm 1200mm FROM FLOOR LEVEL	600mm x 800mm 1200mm FROM FLOOR LEVEL	600mm x 800mm 1200mm FROM FLOOR LEVEL
<b>WINDOW</b>				
Type	SIDE HUNG WINDOW WITH FIXED MIDDLE SASH.	SIDE HUNG WINDOW WITH FIXED MIDDLE SASH.	SIDE HUNG WINDOW.	SIDE HUNG WINDOW.
GLAZING	4mm CLEAR FLOAT GLASS	4mm CLEAR FLOAT GLASS	4mm CLEAR FLOAT GLASS	4mm OBSCURE GLASS
<b>IRONMONGERY</b>				
Handles	SUPPLIED WITH WINDOW FRAME	SUPPLIED WITH WINDOW FRAME	SUPPLIED WITH WINDOW FRAME	SUPPLIED WITH WINDOW FRAME
Window Numbers	03	01	01	01

TYPE A  
 DOOR SCHEDULE  
 WINDOW SCHEDULE  
 MATERIAL SCHEDULE



PERSPECTIVE VIEW  
TYPE A



PERSPECTIVE VIEW  
TYPE A



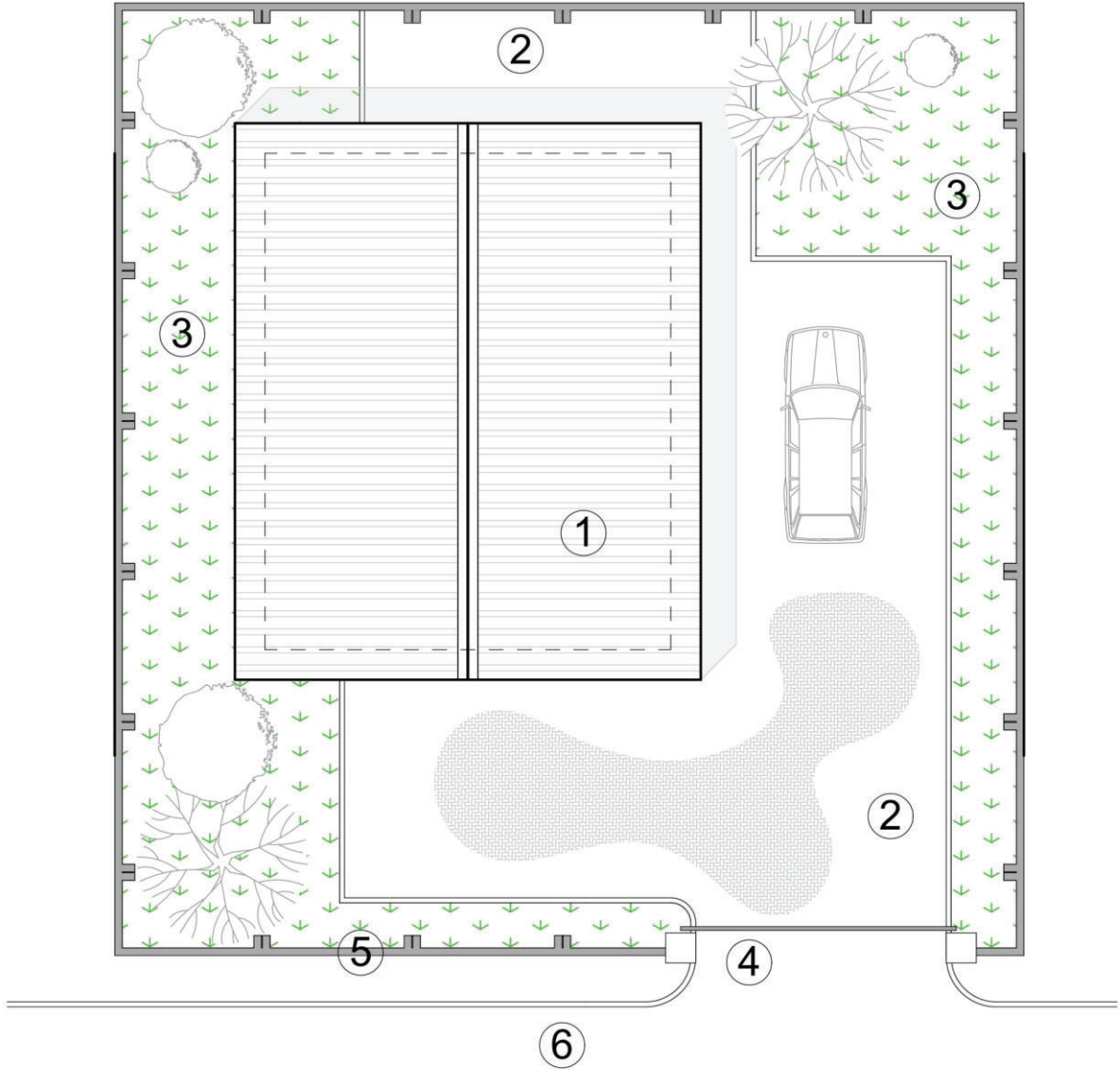
PERSPECTIVE VIEW  
TYPE A



PERSPECTIVE VIEW  
TYPE A



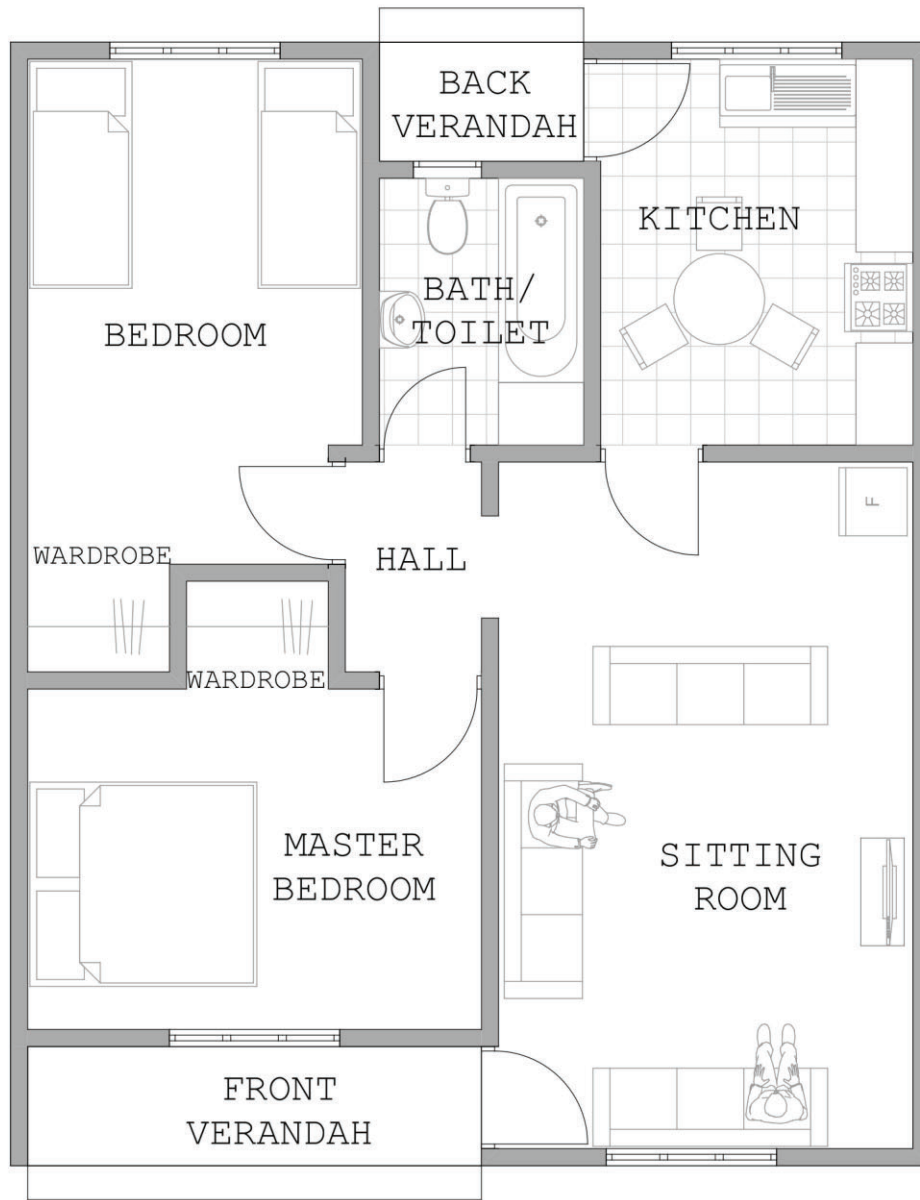
TYPE B



LEGEND

- 1. PROPOSED HOUSE
- 2. PAVED AREA
- 3. GREEN AREA
- 4. ENTRANCE GATE
- 5. BOUNDARY WALL FENCE
- 6. ACCESS ROAD

SITE PLAN  
TYPE B



FURNITURE LAYOUT  
TYPE B

**ROOF**

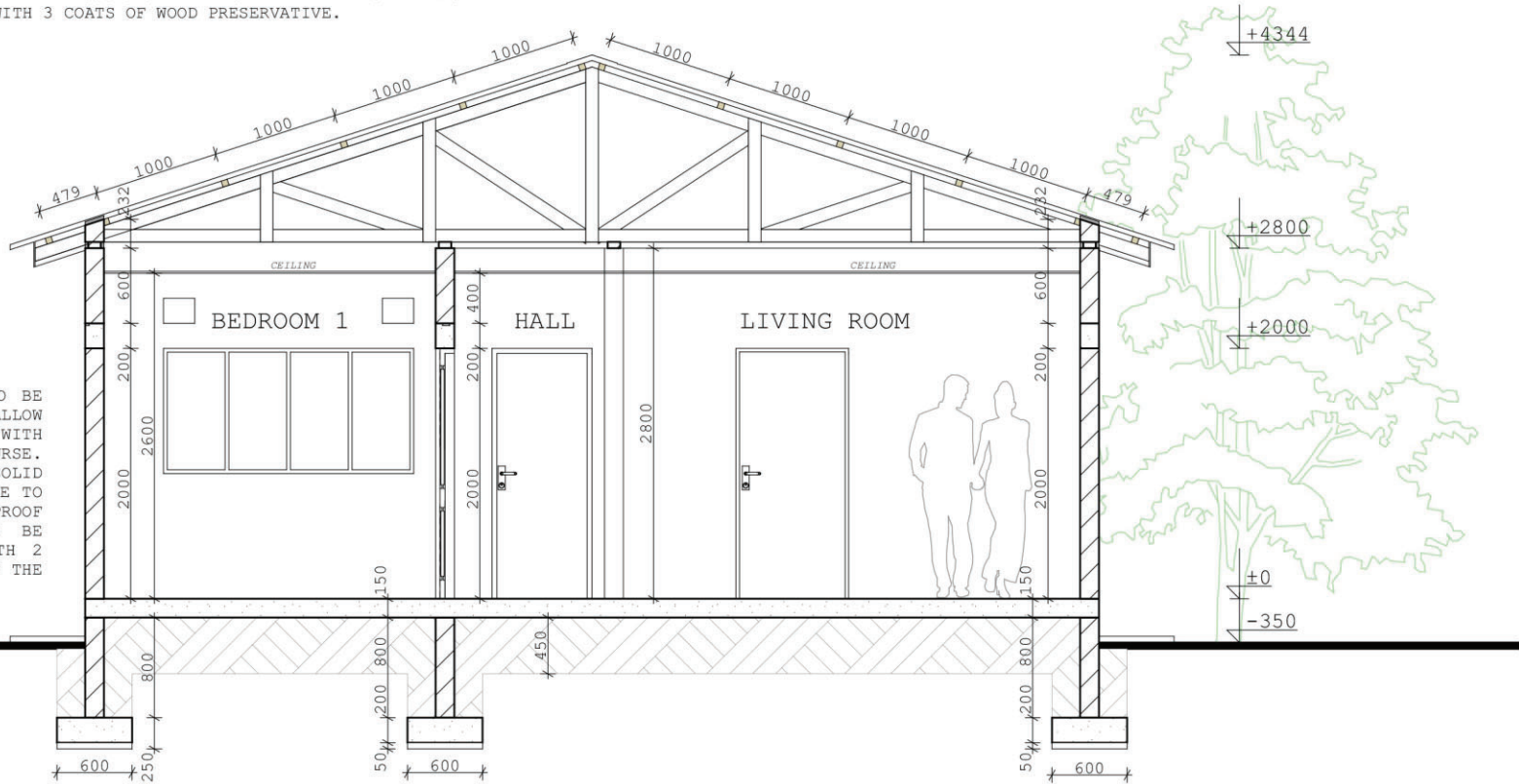
PITCH LAID AT 18°. IBR ROOFING SHEETS NAILED TO 50mm X 50mm TIMBER PURLINS NAILED TO 100mm X 50mm TIMBER TRUSSES ON 100mm X 50mm TIMBER WALL PLATE TIED DOWN THREE COURSES WITH GALVINEZED IRON WIRE. ALL TIMBER MEMBERS TREATED WITH 3 COATS OF WOOD PRESERVATIVE.

**CEILING**

10mm THICK RHINO BOARDS  
FIXED 40mm X 40mm  
BRANDERING AT 60mm  
CENTERS FIXED TO ROOF  
TRUSSES, COMPLETE WITH  
COVER STRIPS AND  
CORNICES. 2600mm CEILING  
HEIGHT.

**WALLS**

ALL LOAD BEARING WALLS TO BE  
150mm THICK BLOCKS. HALLOW  
FILLED CONCRETE BLOCKS WITH  
BRICKFORCE EVERY THIRD COURSE.  
FIRST (2) COURSES TO BE SOLID  
FILLED BLOCKS. FIRST COURSE TO  
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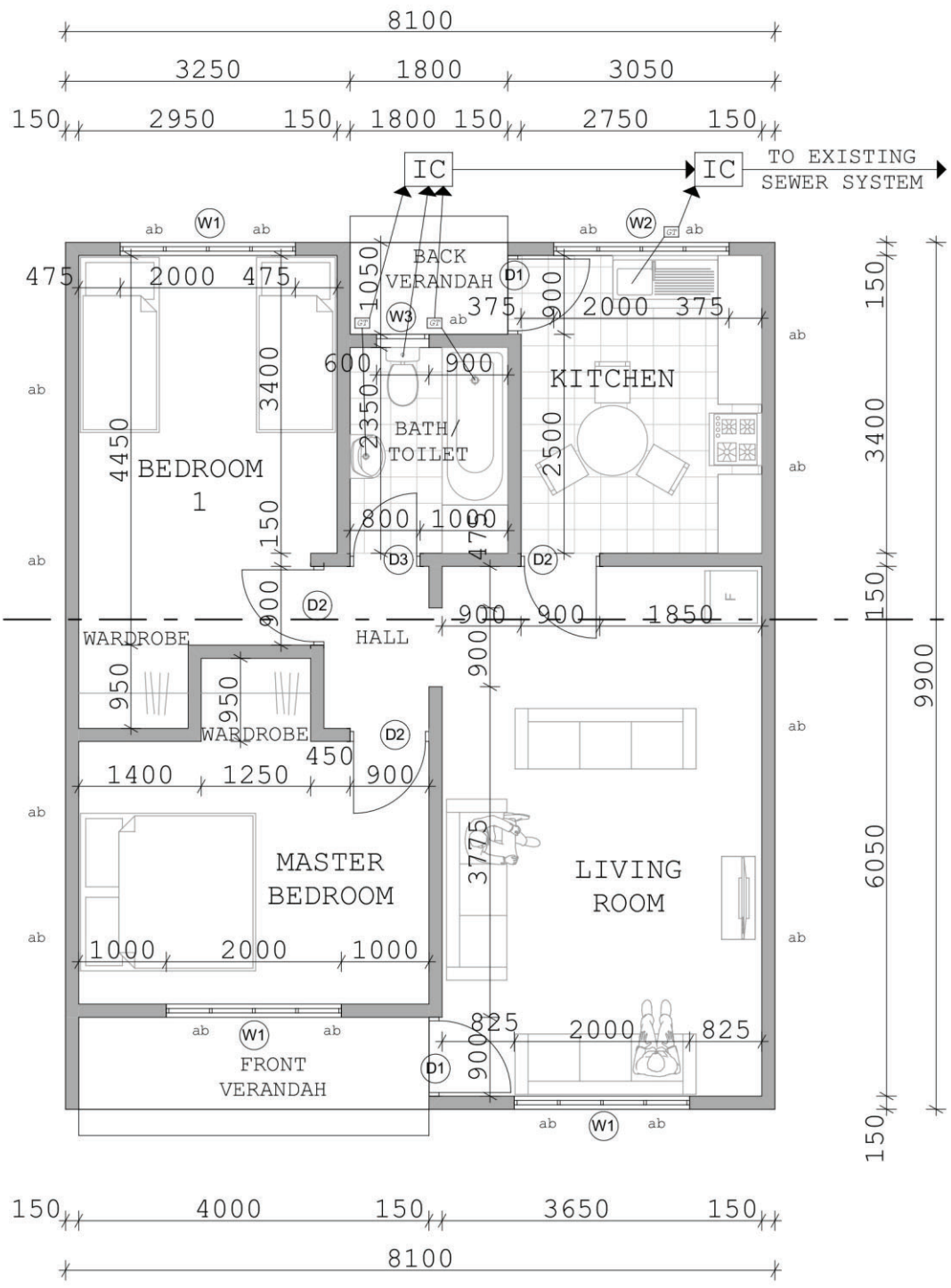
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600mm x 200mm STRIP FOUNDATIONS. FOOTING LAID ON 50mm SAND BLINDING. FOUNDATIONS TO BE OF SOLID BLOCKWORK WITH BRICK FORCE ON THIRD COURSE. BACKFILL ON THE FOUNDATIONS TO BE OF LATERITE AND COMPACTED IN LAYERS NOT EXCEEDING 150mm. FOUNDATION TRENCHES TO BE WELL EXCAVATED AND TREATED WITH ANTI-TERMITE POISON.

**FLOOR SLAB**

40mm SAND AND CEMENT SCREED ON 100mm THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF CONFORCE 257. CONCRETE SLAB LAID ON HEAVY DUTY POLYTHENE SHEETING ON HARDCORE TREATED WITH ANTI-TERMITE POISON.

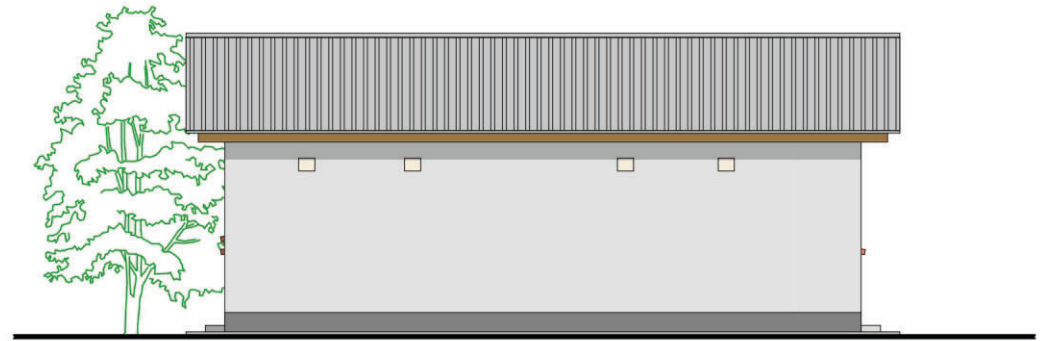
**SECTION 1-1**  
TYPE B



**FLOOR PLAN**  
TYPE B



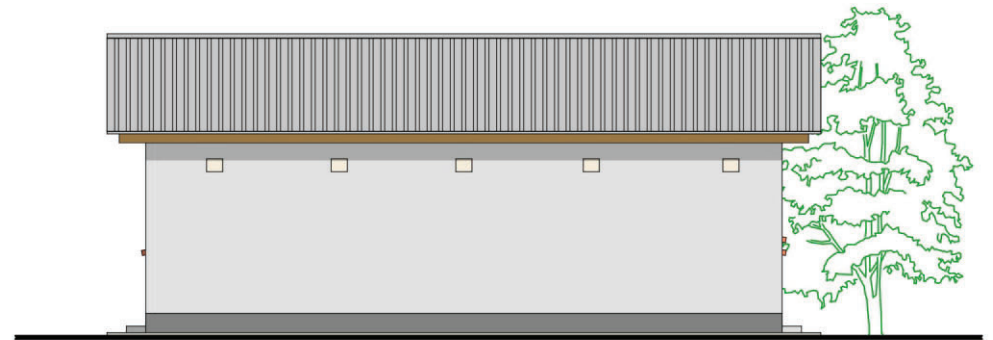
FRONT ELEVATION  
TYPE B



SIDE ELEVATION  
TYPE B

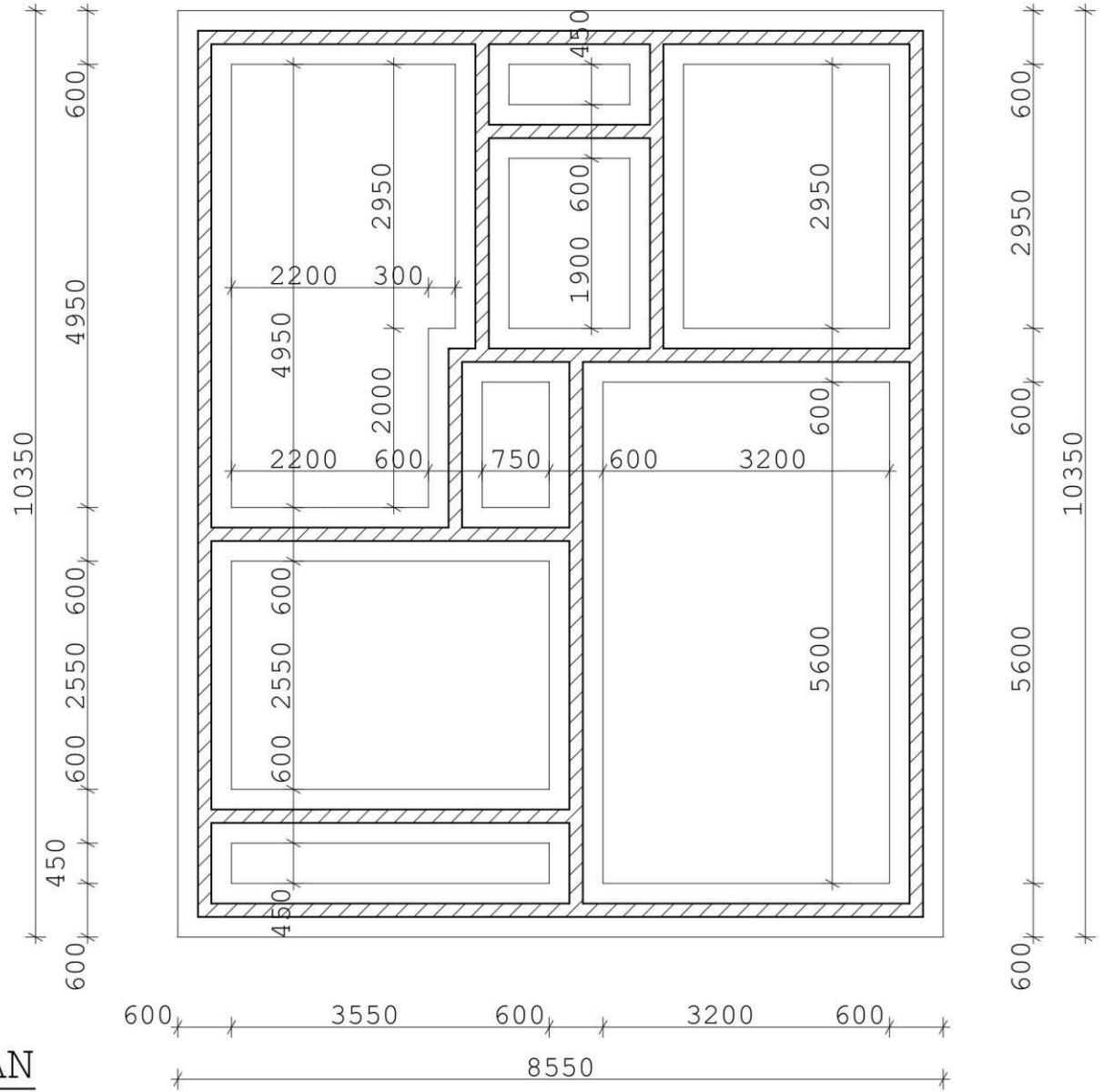


BACK ELEVATION  
TYPE B



SIDE ELEVATION  
TYPE B

8550  
 600 2500 600 1350 600 2300 600



FOUNDATION PLAN  
 TYPE B



DOOR TYPE	D1	D2	D3
	SINGLE LEAF EXTERNAL DOOR	SINGLE LEAF INTERNAL DOOR	SINGLE LEAF INTERNAL DOOR
<b>FRAME</b>			
Type	STEEL FRAME. 1mm MORNACH DOOR FRAMES	STEEL FRAME. 1mm/0.8mm MORNACH DOOR FRAMES	STEEL FRAME. 1mm/0.8mm MORNACH DOOR FRAMES
Size (Structural opening)	900 x 2000	900 x 2000	800 x 2000
<b>DOOR</b>			
Type	SOLID CORE MUKWA OR ROSEWOOD DOOR	SEMI-SOLID CORE FLUSH DOOR	SEMI-SOLID CORE FLUSH DOOR
Size	820 x 1920	820 x 1920	720 x 1920
<b>IRONMONGERY</b>			
Hinges	SUPPLIED WITH DOOR FRAME	SUPPLIED WITH DOOR FRAME	SUPPLIED WITH DOOR FRAME
Handles	SUPPLIED WITH LOCKSET	SUPPLIED WITH LOCKSET	SUPPLIED WITH LOCKSET
Lockset	UNION MORTICE LOCK SET	UNION MORTICE LOCK SET	UNION MORTICE LOCK SET
<b>DOOR NUMBERS</b>	02	03	01

WINDOW TYPE	W1	W2	W3
	TRIPLE-SASH WINDOW.	TRIPLE-SASH WINDOW.	SINGLE-SASH WINDOW.
<b>FRAME</b>			
Type	STEEL FRAME	STEEL FRAME	STEEL FRAME
Size	1500mm x 1000mm 1000mm FROM FLOOR LEVEL	1500mm x 800mm 1200mm FROM FLOOR LEVEL	600mm x 800mm 1200mm FROM FLOOR LEVEL
<b>WINDOW</b>			
Type	SIDE HUNG WINDOW WITH FIXED MIDDLE SASH.	SIDE HUNG WINDOW WITH FIXED MIDDLE SASH.	SIDE HUNG WINDOW.
GLAZING	4mm CLEAR FLOAT GLASS	4mm CLEAR FLOAT GLASS	4mm OBSCURE GLASS
<b>IRONMONGERY</b>			
Handles	SUPPLIED WITH WINDOW FRAME	SUPPLIED WITH WINDOW FRAME	SUPPLIED WITH WINDOW FRAME
Window Numbers	03	01	01

ROOM	AREAS	FLOORS	SKIRTING		WALLS		CEILING		REMARKS	
			CERAMIC TILES	SAND AND CEMENT SCREED	CERAMIC TILES	MUKWA TIMBER BOARD	CERAMIC TILES	FORCELAIN TILES		PLASTER AND GLOSS PAINT
FRONT VERANDAH	5m <sup>2</sup>		●		●	●	●	●		ALL PAINT COLORS TO CLIENTS APPROVAL.  EXTERIOR SIDE OF WALL TO BE PAINTED WITH 3 COATS OF PVA PAINT.
LIVING ROOM	22m <sup>2</sup>		●		●	●	●	●		
KITCHEN	9m <sup>2</sup>		●		●	●	●	●		
BACK VERANDAH	2m <sup>2</sup>		●		●	●	●	●		
HALL	2m <sup>2</sup>		●		●	●	●	●		
MASTER BEDROOM	13m <sup>2</sup>		●		●	●	●	●		
BEDROOM 1	14m <sup>2</sup>		●		●	●	●	●		
BATH/TOILET	4m <sup>2</sup>		●				●	●		

**TYPE B**  
 DOOR SCHEDULE  
 WINDOW SCHEDULE  
 MATERIAL SCHEDULE



PERSPECTIVE VIEW  
TYPE B



PERSPECTIVE VIEW  
TYPE B

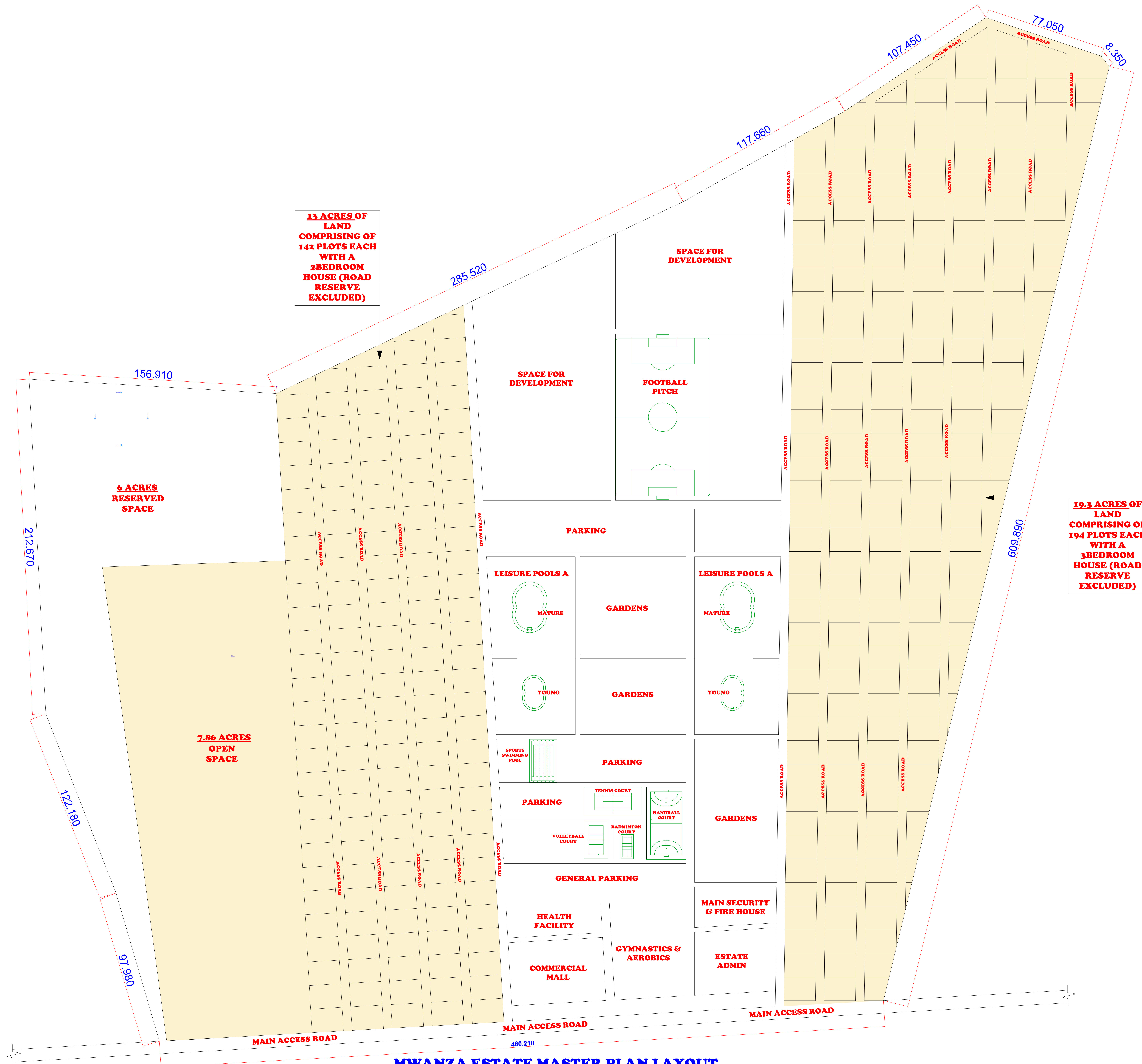


PERSPECTIVE VIEW  
TYPE B



PERSPECTIVE VIEW  
TYPE B

# Mwanza Plan Layout



**13 ACRES OF LAND COMPRISING OF 142 PLOTS EACH WITH A 2BEDROOM HOUSE (ROAD RESERVE EXCLUDED)**

**19.3 ACRES OF LAND COMPRISING OF 194 PLOTS EACH WITH A 3BEDROOM HOUSE (ROAD RESERVE EXCLUDED)**

**6 ACRES RESERVED SPACE**

**7.96 ACRES OPEN SPACE**

**SPACE FOR DEVELOPMENT**

**SPACE FOR DEVELOPMENT**

**FOOTBALL PITCH**

**PARKING**

**LEISURE POOLS A**

**LEISURE POOLS A**

**GARDENS**

**GARDENS**

**GARDENS**

**PARKING**

**PARKING**

**PARKING**

**VOLLEYBALL COURT**

**BADMINTON COURT**

**TENNIS COURT**

**HANDBALL COURT**

**GENERAL PARKING**

**HEALTH FACILITY**

**MAIN SECURITY & FIRE HOUSE**

**COMMERCIAL MALL**

**GYMNASICS & AEROBICS**

**ESTATE ADMIN**

**MAIN ACCESS ROAD**

**MAIN ACCESS ROAD**

**MAIN ACCESS ROAD**

**MWANZA ESTATE MASTER PLAN LAYOUT (SCALE 1:850)**

212.670

156.910

285.520

117.660

107.450

77.050

8.350

609.890

122.180

97.980

460.210

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